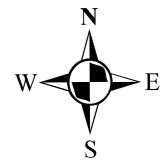


# Attachment A

# Location Map



This map was produced by the City of Redlands, Geographic Information System. The City of Redlands assumes no warranty or legal responsibility for the information contained on this map. The data used to generate this map is dynamic in nature, therefore the information shown may or may not be the most current.



September 17, 2020

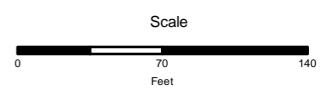
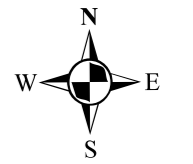
OneStop.mxd

## Attachment B

# Aerial Photo



This map was produced by the City of Redlands, Geographic Information System. The City of Redlands assumes no warranty or legal responsibility for the information contained on this map. The data used to generate this map is dynamic in nature, therefore the information shown may or may not be the most current.



September 17, 2020

OneStop.mxd

## Attachment C

# TENTATIVE PARCEL MAP No. 20185

## CITY OF REDLANDS, CALIFORNIA

### APN 0173-231-05 (301 WEST PALM AVENUE)

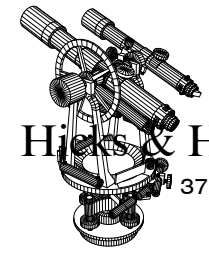
#### APPLICANT

DIVERSIFIED PACIFIC COMMUNITIES  
10621 CIVIC CENTER DRIVE  
RANCHO CUCAMONGA, CA 91730  
PH: (909) 481-1150  
FAX: (909) 481-1151

#### CIVIL ENGINEER

HICKS & HARTWICK, INC.  
37 EAST OLIVE AVE., SUITE C  
REDLANDS, CA 92373  
PH: (909) 793-2257

#### MAP PREPARED BY:



Hicks & Hartwick, Inc.  
37 East Olive Ave., Ste C  
Redlands, CA 92373  
909.793.2257



#### GENERAL NOTES

- TOTAL PROJECT GROSS AREA: 383,773 SF (8.81 AC)
- PROJECT CONSISTS OF APN: 0173-231-05
- NUMBER OF PARCELS: 4
- DATE PREPARED: 11-15-19
- NET DEVELOPMENT AREA: 383,736 SF (8.81 AC)

#### REQUIREMENTS FOR PARCEL MAPS

PER CITY OF REDLANDS DEVELOPMENT APPLICATION (JANUARY, 2019)

- DATE OF MAP PREPARATION: 10-01-2019
- NORTH ARROW DELINEATED ON MAP AS REQUIRED
- SCALE USED: 1" = 50'
- ADJACENT SUBDIVISION INFO: DELINEATED ON MAP AS REQUIRED
- INFORMATION DELINEATED ON MAP AS REQUIRED
- EASEMENTS AND RIGHTS OF RECORD PER PRELIMINARY REPORT PREPARED BY CHICAGO TITLE COMPANY, NO. 7101407137-DA DATED 10-23-2018.
- DELINEATED ON MAP AS REQUIRED
- STATEMENT AS TO THE INTENTION IN REGARD TO SLOPE PLANTING AND EROSION CONTROL: N/A
- VICINITY MAP: DELINEATED ON MAP
- CONTOUR INTERVAL: 1' CONTOURS
- ALL EXISTING STRUCTURES AND TREES TO BE REMOVED: DELINEATED ON MAP AS REQUIRED
- LOCATION OF ALL AREAS OF POTENTIAL STORMWATER OVERFLOW; THE LOCATION, WIDTH AND DIRECTION OF FLOW: DELINEATED ON MAP
- FEMA PANEL: PANEL 8716 OF 9400 PER FLOOD INSURANCE RATE MAP: 06071C8716H, AUGUST 28, 2008  
AREA DESIGNATION: ZONE X  
(AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)

#### EXHIBIT REQUIREMENTS - PART ONE

PER CITY OF REDLANDS DEVELOPMENT APPLICATION (JANUARY, 2019)

- INDEX MAP ON ALL SHEETS: DOES NOT APPLY
- NAME AND ADDRESS OF OWNER/APPLICANT/MAP PREPARER: DELINEATED ON MAP AS REQUIRED
- ACREAGE, NORTH ARROW, VICINITY MAP, DATE OF PREPARATION: DELINEATED ON MAP AS REQUIRED
- EXISTING STRUCTURES AND FEATURES SUCH AS WALLS, BUILDING, AND TREES: DELINEATED ON MAP AS REQUIRED
- DIMENSIONS AND PROPERTY LINES FOR EACH LOT: DELINEATED ON MAP AS REQUIRED
- NAMES OF ADJOINING SUBDIVISIONS AND LANDOWNERS AND ABUTTING LAND UNITS: DELINEATED ON MAP AS REQUIRED
- LANDS DEDICATED FOR PUBLIC USE: DELINEATED ON MAP AS REQUIRED
- POINTS OF INGRESS AND EGRESS: PALM AVENUE & ALVARADO STREET
- PRELIMINARY GRADING, INCLUDING PAD ELEVATIONS AND FLOW LINES WITH LOCATION OF ALL CUT AND FILL SLOPES IDENTIFIED: DELINEATED ON MAP AS REQUIRED

#### EXHIBIT REQUIREMENTS - PART TWO

PER CITY OF REDLANDS DEVELOPMENT APPLICATION (JANUARY, 2019)

- LOCATIONS, NAME, AND WIDTH OF STREETS AND ADJACENT STREETS ALSO SHOW WIDTH OF ALLEYS IF APPLICABLE: DELINEATED ON MAP AS REQUIRED
- PROPOSED STREET GRADES AND GRADES FOR STREETS 100 FEET BEYOND APPLICANTS PROPERTY: DELINEATED ON MAP AS REQUIRED
- CROSS SECTION OF PROPOSED STREET IMPROVEMENTS IF DIFFERENT FROM STANDARD: DELINEATED ON MAP AS REQUIRED
- LOCATION, DIMENSION, AND PURPOSE OF ANY EASEMENT ON AND ADJACENT TO PROJECT SITE: DELINEATED ON MAP AS REQUIRED
- LOCATION OF EXISTING PUBLIC UTILITIES, CULVERTS, DRAIN PIPES, AND WATER COURSES: DELINEATED ON MAP AS REQUIRED
- APPROXIMATE RADIUS OF CURVES: DELINEATED ON MAP AS REQUIRED
- TOPOGRAPHICAL DATA TO MAKE CLEAR THE EFFECT OF THE PROPOSAL: 2' CONTOURS AT GRADES 5% OR LESS, 5' CONTOURS AT GRADES OF MORE THAN 5%. SOURCE OF THE CONTOURS SHALL BE STATED ON MAP: DELINEATED ON MAP AS REQUIRED.

#### BENCH MARK

CITY OF REDLANDS BENCH MARK R-82, BRASS DISK IN TOP OF CURB AT THE SE CORNER OF CALON STREET AND PALM AVENUE, EAST END OF RETURN.  
ELEVATION = 1317.581

#### BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP IS DERIVED FROM THE CENTERLINE OF PALM AVENUE SHOWN AS N56°20'00"E ON TRACT NO. 6640, MB 84/6-7.

#### TOPOGRAPHIC MAP NOTE

TOPOGRAPHIC MAP PREPARED BY: INLAND AERIAL SURVEYS, INC.

#### SOILS ENGINEER / GEOLOGIST

GEOLOGICAL INVESTIGATION CONDUCTED BY: PETRA GEOSCIENCES INC. JOB NO. 18-430, DATED FEBRUARY 15, 2019

#### PUBLIC UTILITY COMPANIES

GAS:  
SOUTHERN CALIFORNIA GAS CO.  
1981 W. LUGONIA AVENUE  
REDLANDS, CA 92374-9720  
(800) 427-2200

WATER:  
CITY OF REDLANDS  
P.O. BOX 6908  
REDLANDS, CA 92375-0903  
(909) 798-7516

ELECTRIC:  
SOUTHERN CALIFORNIA EDISON CO.  
287 TENNESSEE STREET  
REDLANDS, CA 92373  
(909) 307-6731

SEWER:  
CITY OF REDLANDS  
P.O. BOX 6905  
REDLANDS, CA 92375-0903  
(909) 798-7516

CABLE:  
TIME WARNER CABLE  
1722 GRANGE TREE LANE  
REDLANDS, CA 92373  
(909) 793-2321

TELEPHONE:  
1500 CRAFTON AVENUE  
MENTONE, CA 92359  
(909) 794-8210

#### EASEMENTS AND RIGHTS

EASEMENTS AND RESTRICTIONS OF RECORD UNDER TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY, DATED OCTOBER 23, 2018, ORDER NO. 7101407137-DA

EASEMENTS AFFECTING THAT PORTION OF SAID LAND AND FOR THE PURPOSES STATED HEREIN AND INCIDENTAL PURPOSES AS PROVED IN THE FOLLOWING INSTRUMENTS:

- GRANTED TO: REDLANDS WATER COMPANY  
PURPOSE(S): PUBLIC UTILITIES AND INCIDENTAL PURPOSES  
RECORDING DATE: FEBRUARY 24, 1982  
RECORDING INSTRUMENT: BOOK 28, PAGE 233 OF DEEDS, AND BOOK 29, PAGE 65 OF DEEDS  
NOTES: EASEMENT CANNOT BE LOCATED FROM RECORD

#### LEGAL DESCRIPTION

LOT 7, BLOCK "C", ACCORDING TO MAP OF ADDITION NO. 7 TO THE SECOND PRELIMINARY MAP OF REDLANDS, IN THE CITY OF REDLANDS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 5 OF MAPS, PAGE 8, RECORDS OF SAID COUNTY.

#### ADJACENT PROPERTY OWNERS

- |   |  |   |  |  |
|---|--|---|--|--|
| 01. 0173-242-01<br>BENTON REVOCABLE TRUST | 02. 0173-242-08<br>LOCKWOOD, LESLIE                    | 03. 0173-242-09<br>CHAPARRO, GUSTAVO    | 04. 0173-242-10<br>WALCK, ELIZABETH LIVING TRUST | 05. 0173-242-17<br>O'DONNELL TRUST                   |
| 06. 0173-242-18<br>NEWBERRY FAMILY TRUST  | 07. 0173-231-12<br>DEDEOS, MATTHEW                     | 08. 0173-231-13<br>CONREY TRUST         | 09. 0173-231-17<br>CARLSON FAMILY TRUST          | 10. 0173-231-18<br>SWEET, STUART                     |
| 11. 0173-231-09<br>STRUNK, TIMOTHY        | 12. 0173-222-10<br>ALVAREZ, JOHN                       | 13. 0173-222-09<br>ALVAREZ, SERGIO      | 14. 0173-221-17<br>DEAN, CHRISTOPHER & JOYCE     | 15. 0173-221-18<br>COLE, MARY ELIZABETH LIVING TRUST |
| 16. 0173-221-07<br>CAMP COLE FAMILY TRUST | 17. 0173-151-35<br>JOHNSON, GREG R & DJ LEPPER-JOHNSON | 18. 0173-151-62<br>MCGLOIN FAMILY TRUST | 19. 0173-152-03<br>MELZER, ERICH & MARJORIE      | 20. 0173-152-02<br>SWARM, ORVAL & MARJORIE           |

#### SLOPE PLANTING AND EROSION CONTROL NOTE

FACES OF FINISHED CUT AND FILL SLOPES SHALL BE PREPARED AND MAINTAINED TO CONTROL AGAINST EROSION. DEVELOPER INTENDS TO PROVIDE ADEQUATE EROSION CONTROL AND PROTECTION FOR THE SLOPES PER CALIFORNIA SWPPP AND WATER QUALITY STANDARDS

#### LEGEND

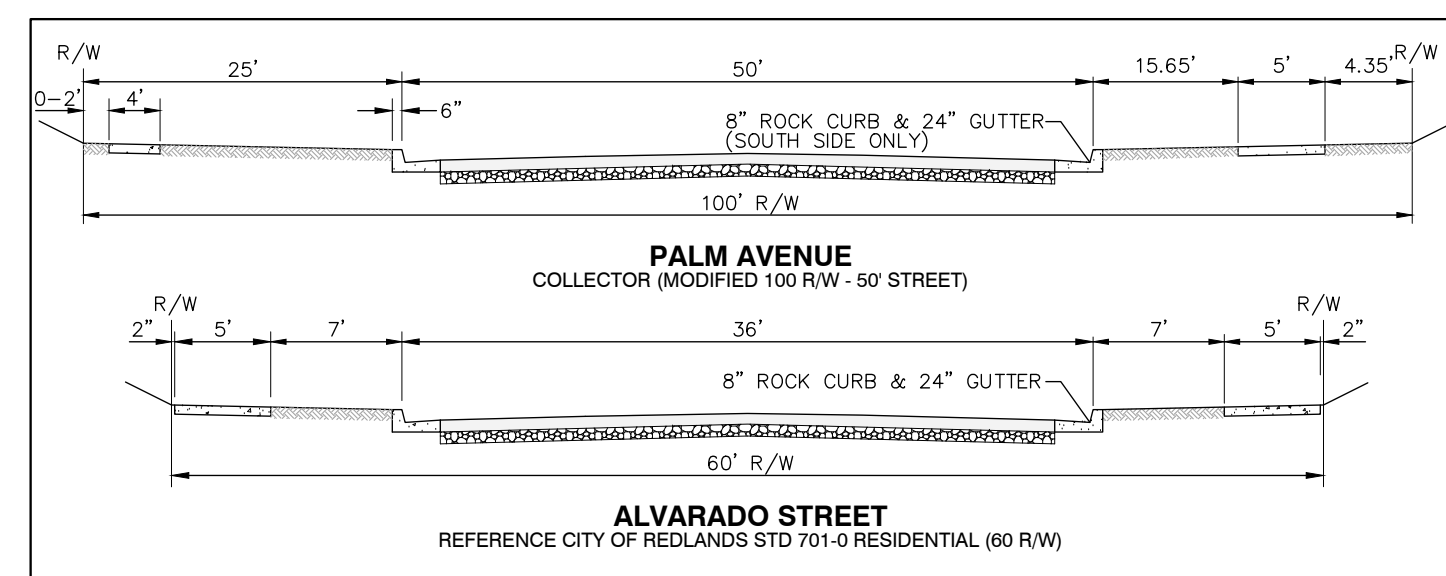
- EX. 5' CONTOUR
- EX. 1' CONTOUR
- ASPHALT PAVEMENT
- EXISTING STRUCTURE
- CITRUS TREE
- CHAIN LINK FENCE
- HOG WIRE FENCE
- EXISTING OVERHEAD UTILITY LINES
- EXISTING WATER MAIN (SIZE AS SHOWN)
- EXISTING SEWER (SIZE AS SHOWN)
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- PROPOSED LED STREET LIGHT
- PROPOSED ACORN STREET LIGHT

#### ABBREVIATIONS

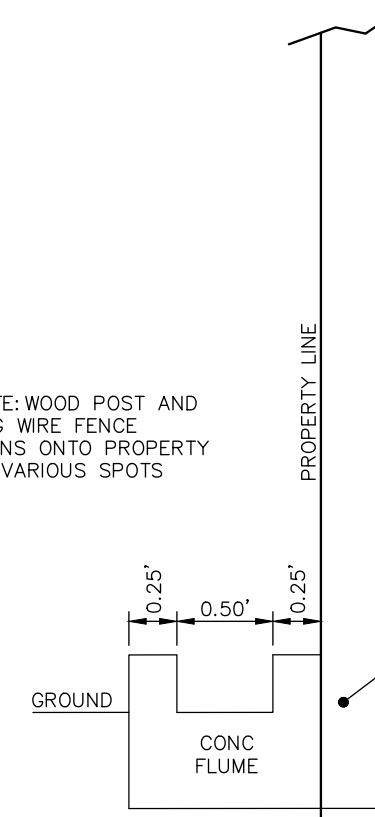
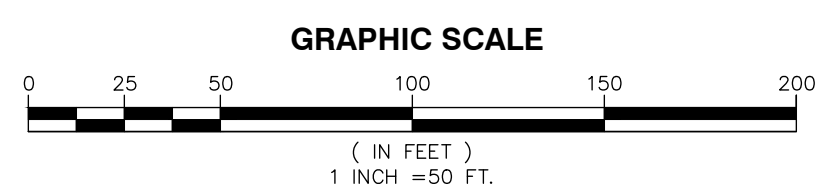
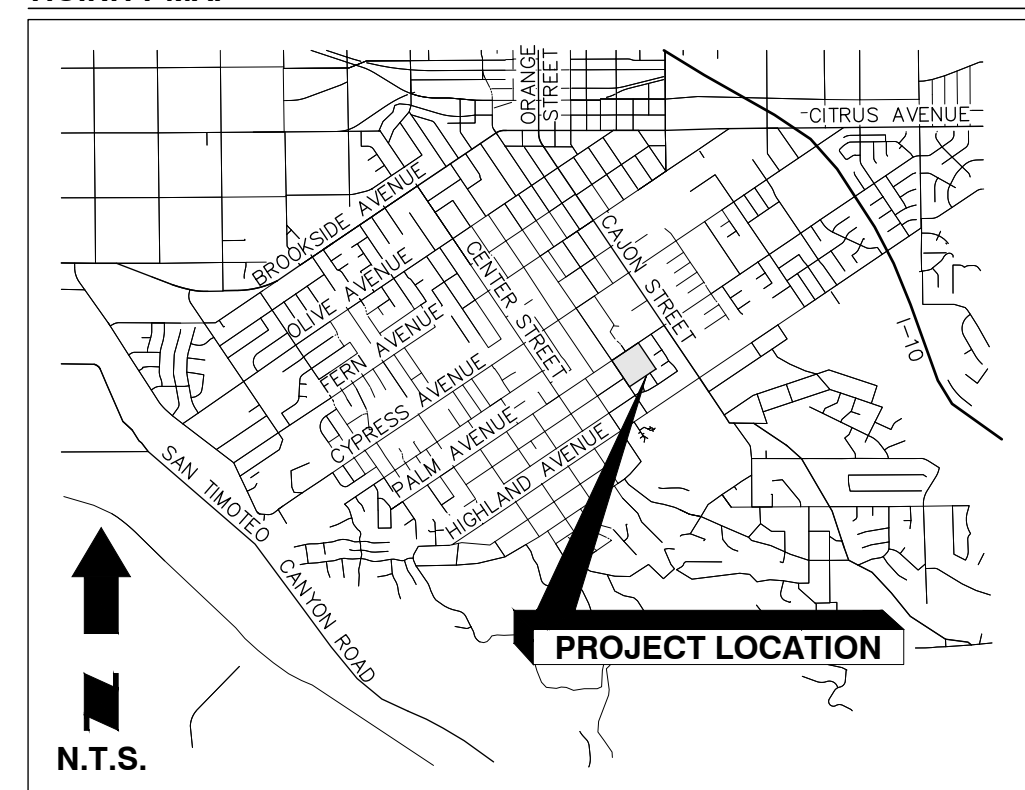
- |        |                        |      |                        |
|--------|------------------------|------|------------------------|
| CB     | CATCH BASIN            | NTS  | NOT TO SCALE           |
| CONC   | CONCRETE               | HP   | HIGH POINT             |
| CONSTR | CONSTRUCTION           | REF  | REFERENCE              |
| CLF    | CHAIN LINK FENCE       | REV  | REVISED                |
| DWY    | DRIVEWAY               | ST   | SOUTHERLY STREET       |
| ELEV   | ELEVATION              | SW   | SIDEWALK               |
| EG     | EXISTING GRADE         | TC   | TOP OF CURB            |
| EX     | EXISTING               | TD   | TOP OF DIKE            |
| FG     | FINISH GRADE           | TG   | TOP OF GRADE           |
| FH     | FIRE HYDRANT           | TF   | TOP OF FOOTING         |
| F/L    | FLOWLINE               | TTE  | TOP OF FENCE ELEVATION |
| GB     | GRADE BREAK            | TW   | TOP OF WALL            |
| HP     | HIGH POINT             | TRW  | TOP OF RETAINING WALL  |
| INV    | INVERT                 | O.C. | ON CENTER              |
| MIN    | MINIMUM                | WLY  | WESTERLY               |
| MAX    | MAXIMUM                | W/W  | WITH                   |
| NG     | NATURAL GROUND         | WV   | WATER VALVE            |
| R/W    | RIGHT OF WAY           |      |                        |
| PAE    | PUBLIC ACCESS EASEMENT |      |                        |
| PL     | PROPERTY LINE          |      |                        |

#### TYPICAL STREET SECTIONS

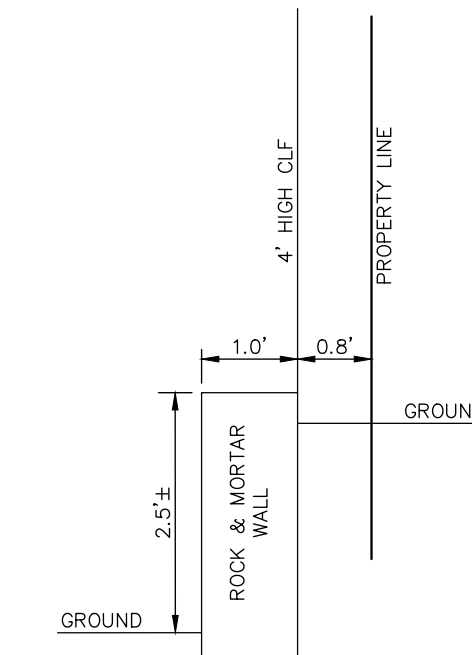
NOT TO SCALE



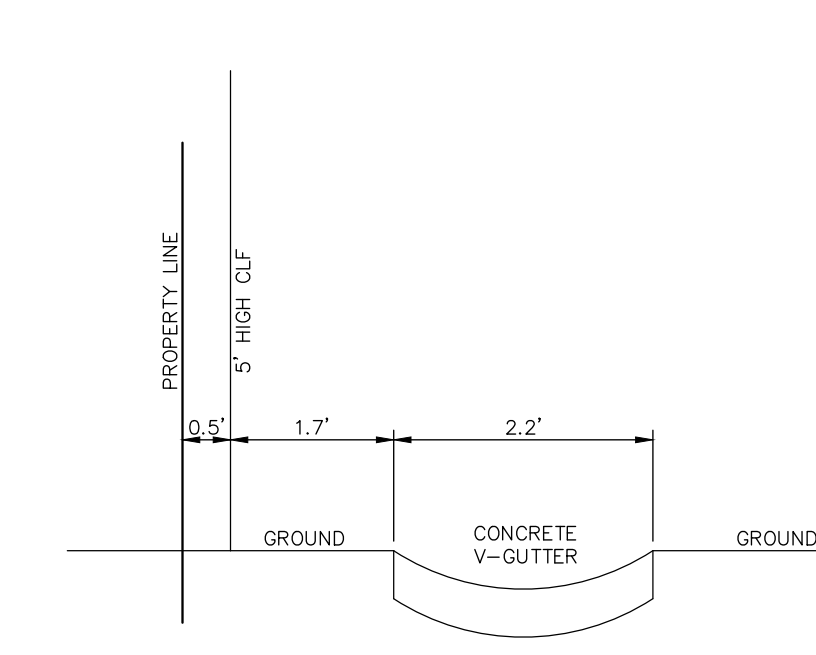
#### VICINITY MAP



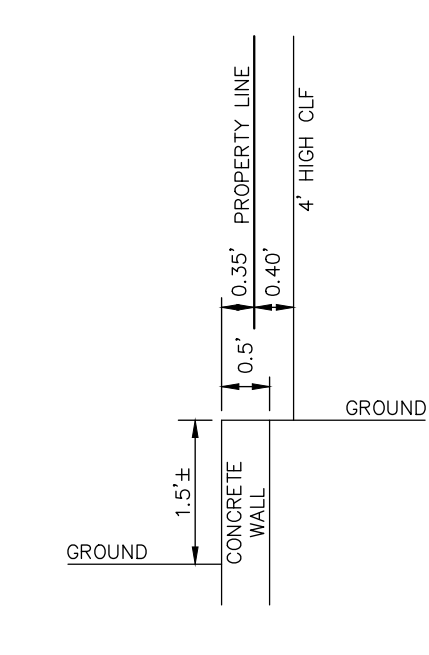
SECTION A-A  
SCALE: 1" = 1'



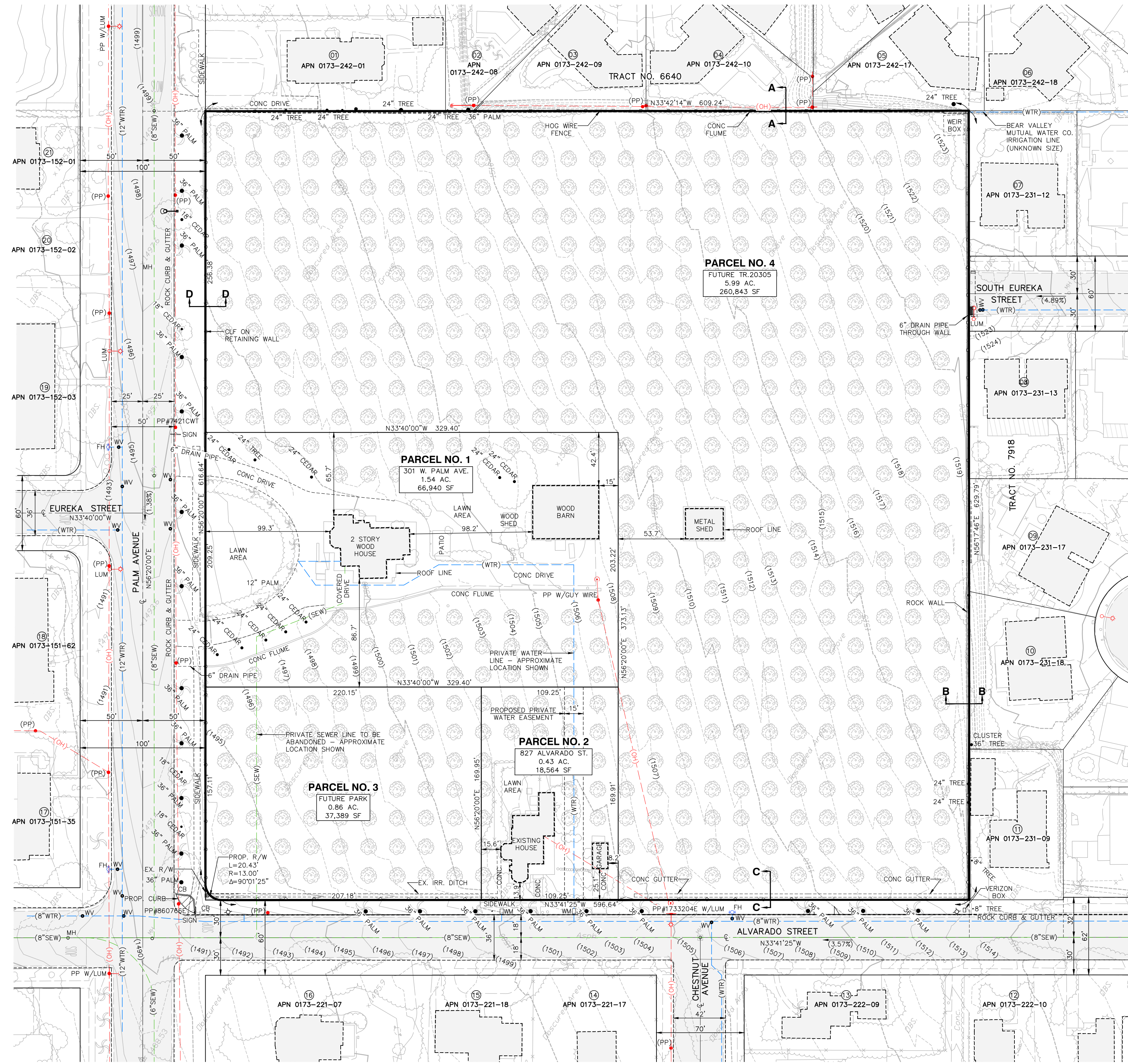
SECTION B-B  
SCALE: 1" = 2'



SECTION C-C  
SCALE: 1" = 2'



SECTION D-D  
SCALE: 1" = 2'



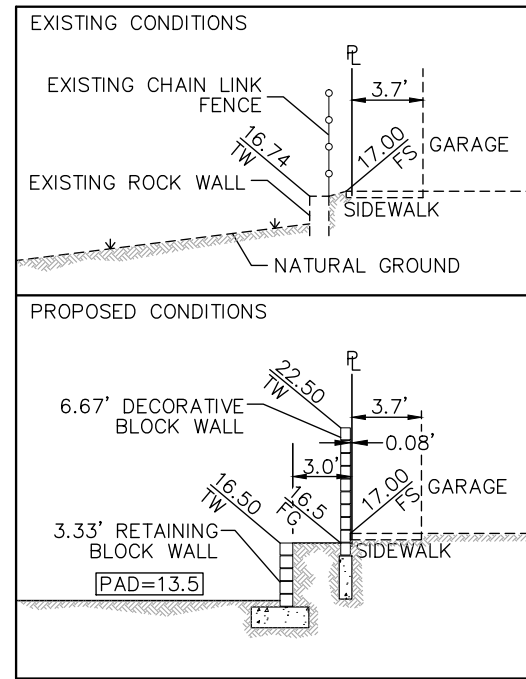
## Attachment D





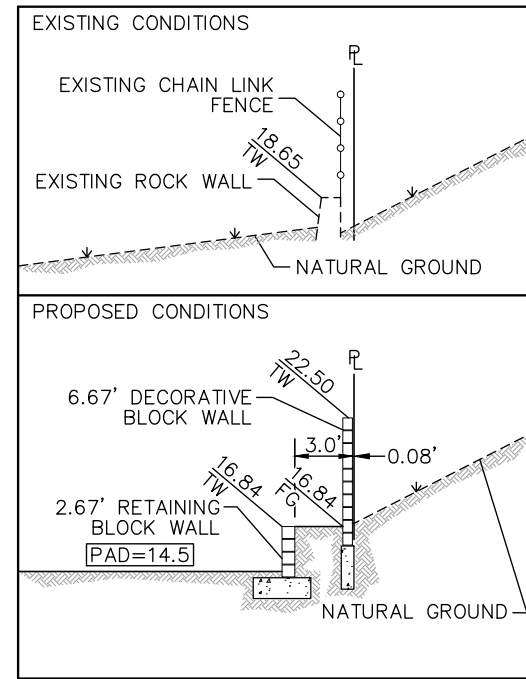
# TENTATIVE TRACT MAP No. 20305-PRD

## PRELIMINARY GRADING & PLOT PLAN



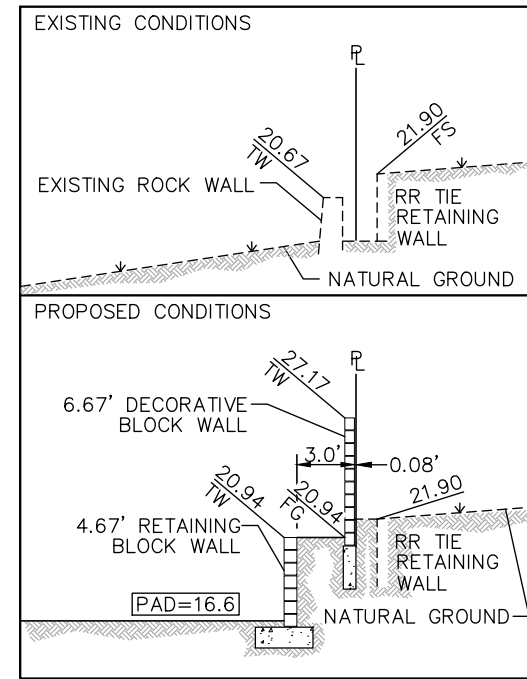
SECTION A-A

SCALE: 1" = 10'



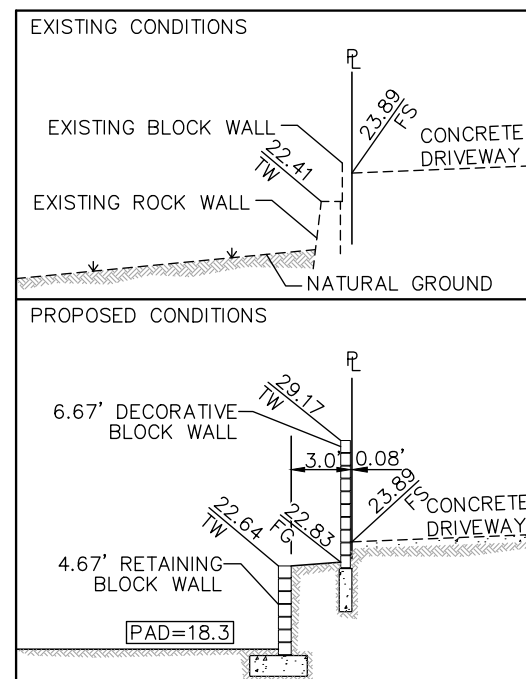
SECTION B-B

SCALE: 1" = 10'



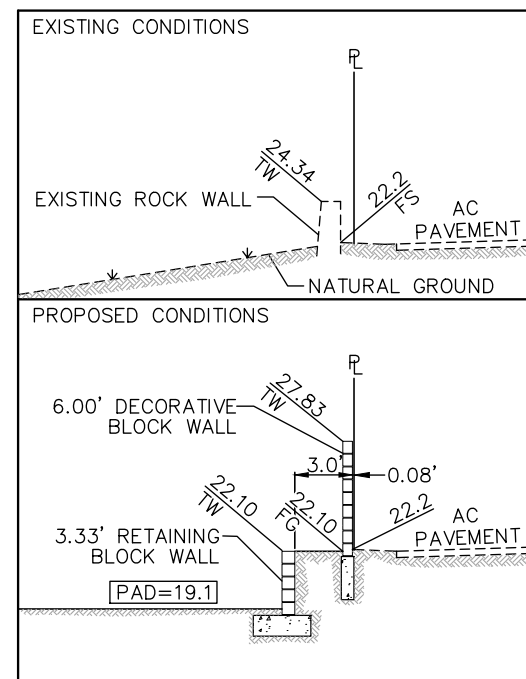
SECTION C-C

SCALE: 1" = 10'



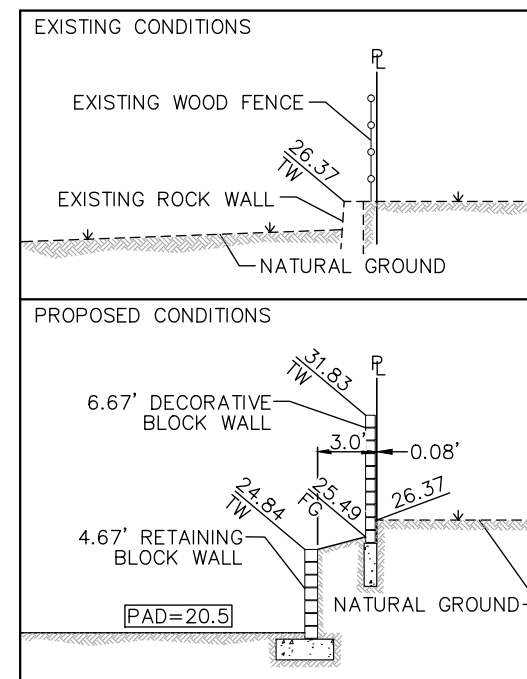
SECTION D-D

SCALE: 1" = 10'



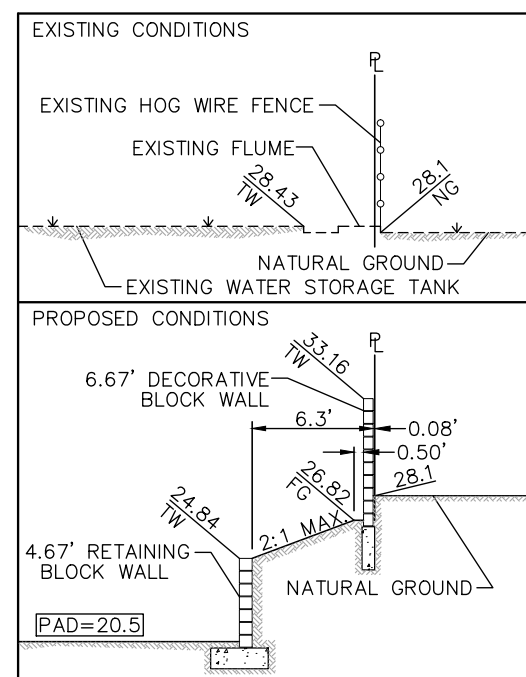
SECTION E-E

SCALE: 1" = 10'



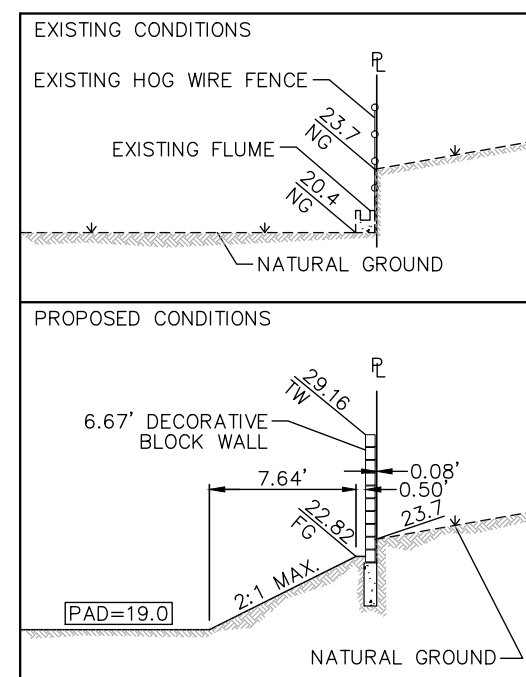
SECTION F-F

SCALE: 1" = 10'



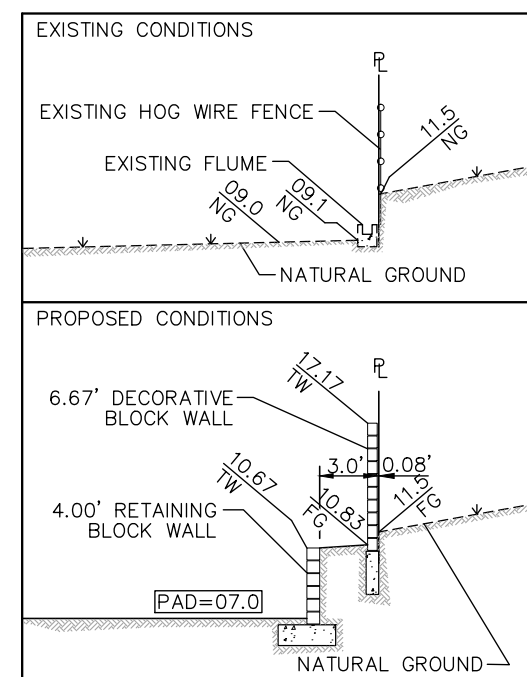
SECTION G-G

SCALE: 1" = 10'



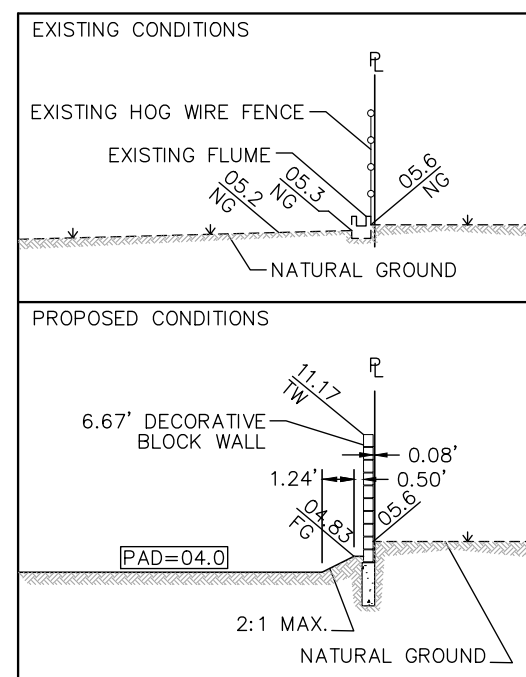
SECTION H-H

SCALE: 1" = 10'



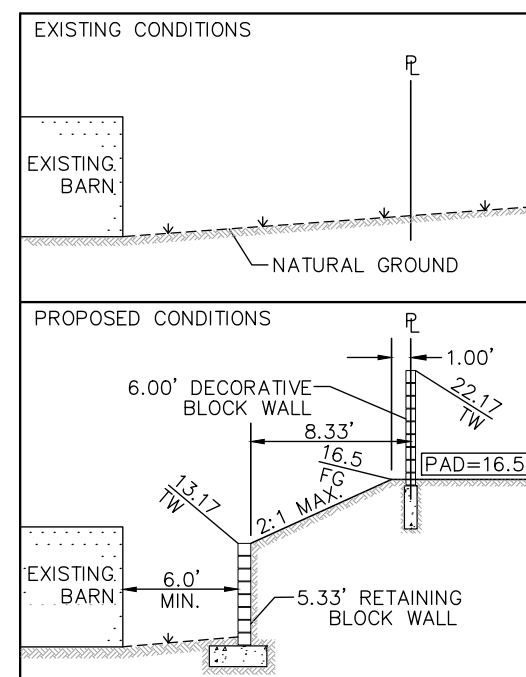
SECTION I-I

SCALE: 1" = 10'



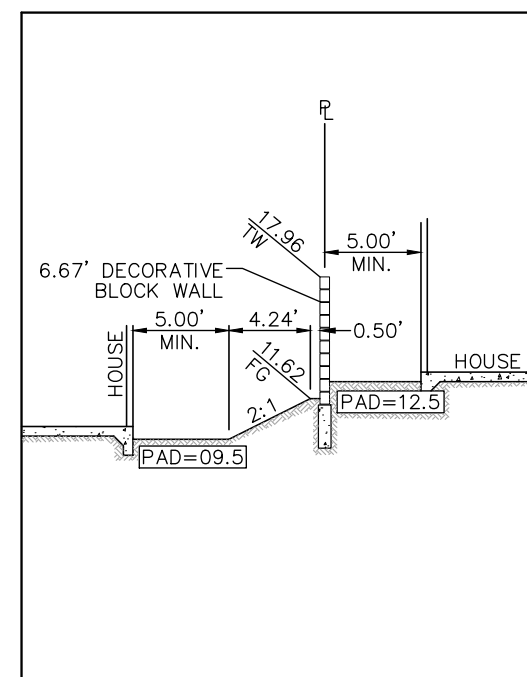
SECTION J-J

SCALE: 1" = 10'



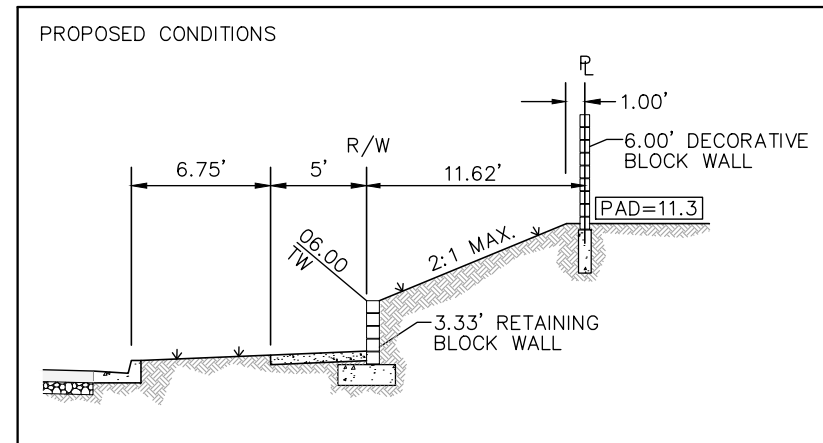
SECTION K-K

SCALE: 1" = 10'



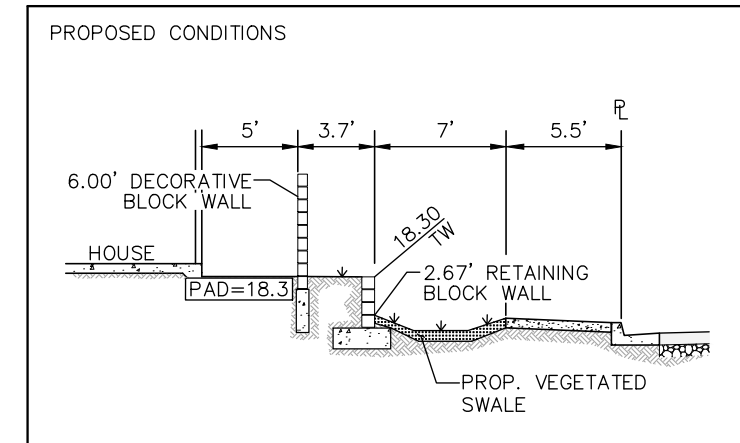
SECTION L-L (TYP. SIDEYARD)

SCALE: 1" = 10'



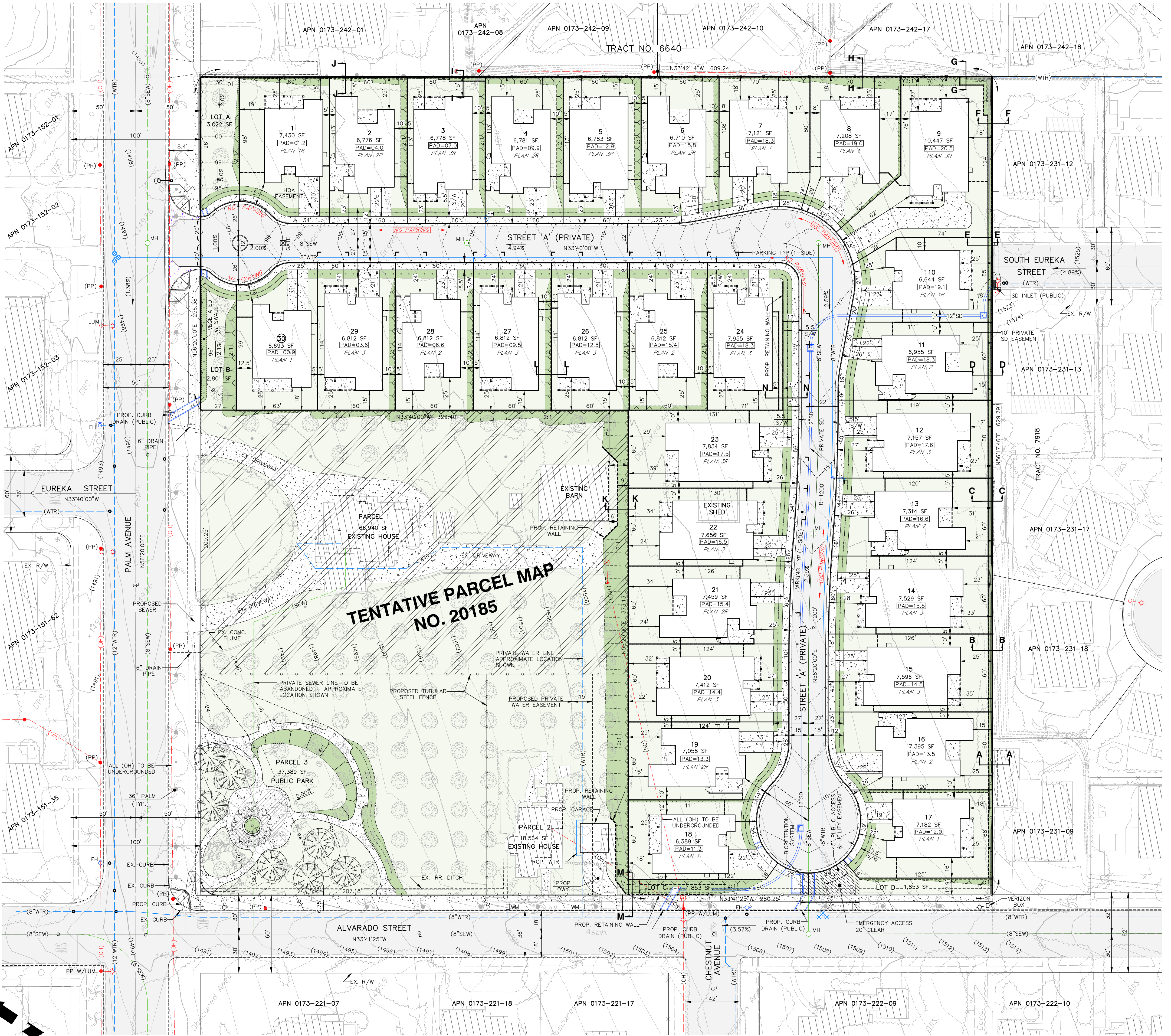
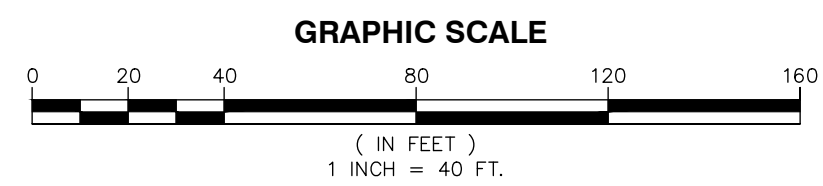
SECTION M-M

SCALE: 1" = 10'



SECTION N-N

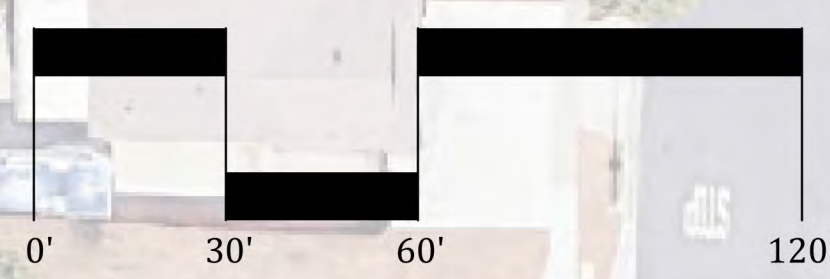
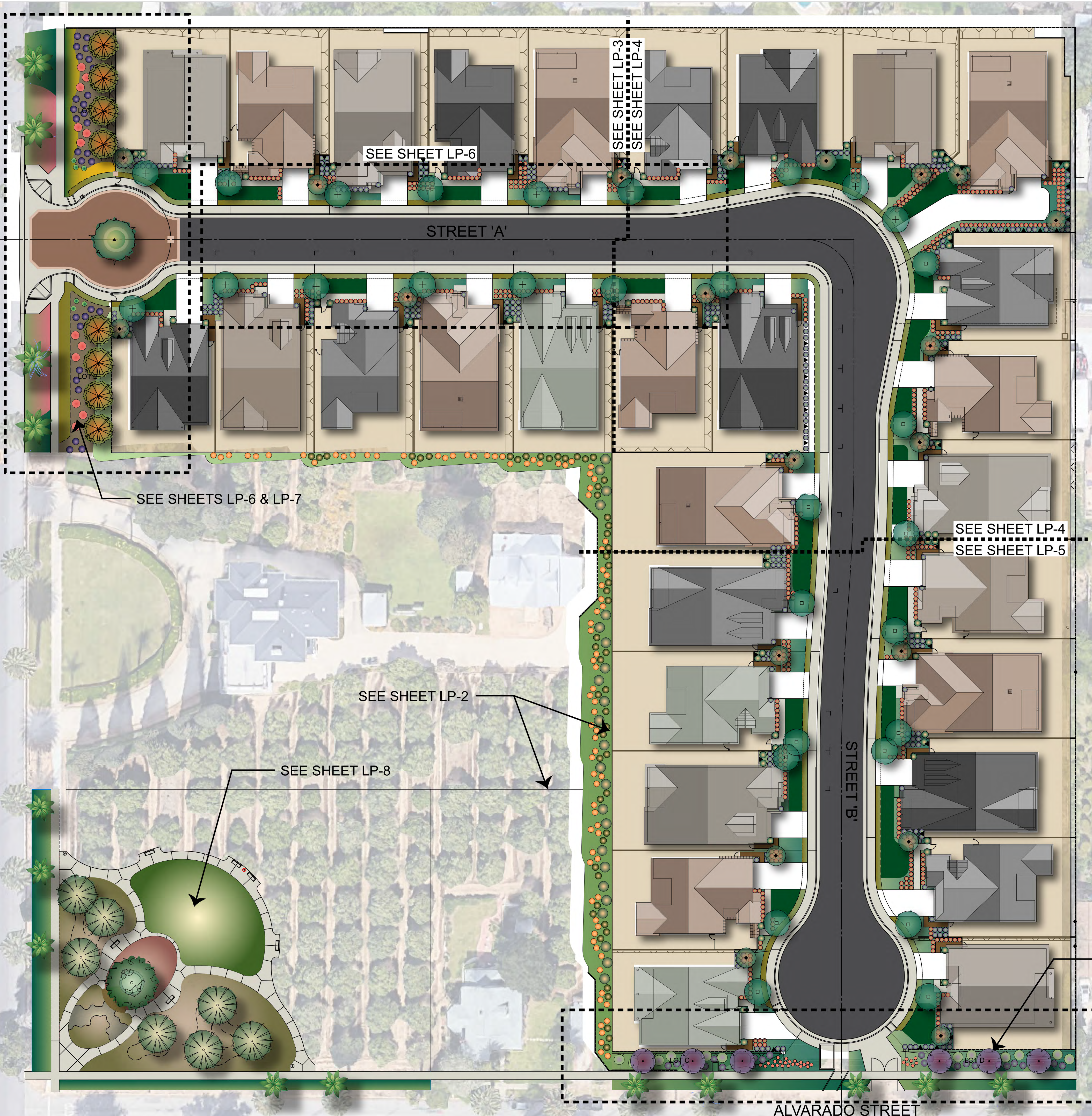
SCALE: 1" = 10'



TENTATIVE PARCEL MAP NO. 20185

## Attachment E

WEST PALM AVENUE



OVERALL LANDSCAPE EXHIBIT  
**301 WEST PALM AVENUE**  
 DIVERSIFIED PACIFIC



**LP-1**  
 SHEET 1 OF 8