

REQUEST FOR HISTORIC AND SCENIC PRESERVATION COMMISSION ACTION

V.A. MARK AND JILL HUNTSINGER, APPLICANT

PUBLIC HEARING to consider **Certificate of Appropriateness No. 644** – A request to demolish an existing detached shed and construct a new detached garage with a bathroom that is 1,235 square feet in size and adding a new 34 square foot bathroom within an existing 470 square foot pool house. The project site is located at 304 East Fern Avenue (APN: 0173-061-29-0000) within Historic District No. 5 (East Fern Avenue Historic and Scenic District). The project qualifies for exemption from environmental review in accordance with Section 15331 (Historical Resource Restoration/ Rehabilitation) and Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act Guidelines.

HISTORIC AND SCENIC PRESERVATION MEETING: March 3, 2022

Planner: Jocelyn Torres, Associate Planner

PROCEDURE FOR PUBLIC HEARING

1. Chairperson declares the meeting open as a public hearing.
2. Chairperson calls upon staff for report.
3. Chairperson calls for questions/comments from members of the Commission.
4. Chairperson calls upon applicant, or its representative, for comments/testimony.
5. Chairperson calls for comments/questions/testimony from members of the public (3 minutes per speaker).
6. Chairperson calls upon the applicant, or representative, for rebuttal comments (5 minutes).
7. Chairperson closes the public hearing.
8. Commission considers the motion(s) and votes.

SYNOPSIS

1. Historic Designation: The structure is listed as Historic District No. 5 (East Fern Avenue Historic and Scenic District).
2. Existing Land Use: The site is currently developed with a single-family residence.
Zoning: R-2-2000 (Multiple-Family Residential) District
General Plan: Medium Density Residential
3. Historic and Scenic Preservation Commission submittal dates:
 - (A) Date Submitted: January 6, 2022
 - (B) Date Accepted as Complete: January 31, 2022

(C) Historic and Scenic Preservation Commission Meeting: March 3, 2022

4. Attachments:

- (A) Location Map and Aerial
- (B) Site Photographs
- (C) Project Plans
- (D) Resolution No. 2022-07 with Exhibit A (Conditions of Approval)

PROPOSAL

The applicant is proposing to demolish an existing 200 square foot detached shed and construct a new detached garage with a bathroom that is 1,235 square feet in size and adding a new 34 square foot bathroom within an existing 470 square foot pool house. The proposed garage will be located towards the rear portion of the main residence, visible from East Fern Avenue, and will incorporate similar architectural characteristics as the main residence. The project site is located at 304 East Fern Avenue within Historic District No. 5 (East Fern Avenue Historic and Scenic District) and is within the R-2-2000 (Multiple-Family Residential District).

BACKGROUND

The building permit records for this property contain a building permit for the dwelling dated 1932. The County of San Bernardino estimates that the dwelling was constructed in 1930 and the Historic Inventory Sheet that was prepared for the property indicates that the home was constructed in 1932. In addition, the Sanborn Maps shows the placement of the dwelling in its current placement in 1938. The dwelling is not individually designated but is located within Historic District No. 5 (East Fern Avenue Historic and Scenic District) which was adopted by the City Council in October 3, 1989. The Historic Inventory Sheet that was prepared for the property in March 18, 1986 indicates that the property is has L shaped house with a red tile roof, stucco siding with cement foundation, black Spanish decorative metal lines edges of glass, with other features that was constructed by an unknown architect.

The following building permit are associated to the subject property:

Permit Type	Year Issued	Work Proposed
Electrical Permit	N/A	Dated: November 12, 1953 with no year issued date.
Building Permit	December 15, 1980	200 AMP permit
Building Permit	N/A	Permit dated 1932 with no year issued date for dwelling.

Structural Pest Control	September 7, 1961	Residence
Plumbing Permit	December 7, 1945	Replacement
Electrical Permit	N/A	Dated: August 8, 1952
Building Permit	March 19, 1941	Termite work
Electrical Permit	October 1, 1958	1 breaker
Roofing Permit	June 15, 1966	Roof repair
Building Alternations	September 15, 1969	Sandblasting Residence
Electrical Permit	N/A	Dated: January 23, 1980
Building Permit	N/A	Dated: June 15, 1979 Swimming Pool
Building Permit	N/A	Dated: July 5, 1979 20 by 20 carport
Building Permit	June 17, 2019	Residential Addition

ANALYSIS

A) Zoning

The property is located within the R-2-2000 (Multiple Family Residential District) which allows for the construction of accessory buildings including garages ancillary to the primary use which is a single-family residence. The proposed garage is subject to the development standards for the R-2-2000 District and the regulations for Accessory Buildings. The proposed garage will include a 55 square foot bathroom and an approximately 94 square foot workshop at the rear of the garage totaling 1,235 square feet. The construction of the detached garage and the addition of a new bathroom within the existing footprint of the pool house meets all applicable development standards such as lot coverage, setbacks, distance separation requirements, building height and Redlands Municipal Code Section 18.20.160 for accessory buildings.

Table A: Summary of Development Standards for the R-2-2000 District

<i>Development Standard</i>	<i>Requirement</i>	<i>Proposed</i>	<i>Complies?</i>
Front Setback	25 feet	90 feet	Yes
Side Setback (RMC Section 18.20.160 – Accessory Buildings)	5 feet	5 feet	Yes
Rear Setback (RMC Section 18.20.160 – Accessory Buildings)	5 feet	20 feet	Yes

Accessory Buildings (RMC 18.56.220)	Section	Max. 80% of the rear yard area	25.6%	Yes
Lot Coverage		Max. 45% of lot area	22.2%	Yes
Building Height		Max. 3 stories	One-Story (16'-4")	Yes

B) Site Design and Architecture

The existing single-family residence incorporates a Spanish Mission architectural style with a smooth stucco finish in the color beige, a Spanish style roof, arched openings at the windows and entries, as well as other features. The applicant is not proposing any changes to the existing single-family residence. The proposed scope of work includes demolishing an existing detached shed for the construction of a new detached garage with a bathroom and workshop, and adding a new bathroom to an existing pool house. The proposed garage will be located approximately 90 feet from the front property line and will be located at the rear of an existing 5 foot tall block wall.

The proposed garage is designed to be consistent with the architectural characteristics of the main residence and will incorporate a tile roof overhang over the garage doors, decorative attic vents, archways, and exposed rafter tails. The garage will fit 4 cars, parked tandem, giving the appearance of a two-car garage with two single vehicle sized doors facing the street. The structure complies with the applicable code requirements for covered parking. To accommodate the proposed garage, an existing 200 square foot shed will have to be removed and a Condition of Approval has been incorporated that requires the applicant to obtain a demolition permit for accessory structures less than 50 years of age prior to the issuance of any building permits. The proposed garage will include a 55 square foot bathroom and an approximately 94 square foot workshop that will be located the rear of the garage. The exterior of the garage consists of a smooth stucco finish to match the existing residence, Spanish style pipe attic vent, windows, Spanish concrete tile for the roof, decorative inset with smooth stucco, and new carriage style garage doors. The applicant also proposes to add a 34 square foot bathroom to an existing square footage of the pool house and is not proposing any exterior modifications to the pool house.

Overall, the proposed garage will include a similar scale, proportion, and roofline as the existing single-family residence and will have a maximum height of 16'-4". The proposed garage will include two carriage style garage doors and will incorporate windows along the side and rear elevations. The proposed garage will have a smooth stucco finish and the color and texture of the exterior will match the existing residence. The proposed garage will be visible from E. Fern Avenue and will be located towards the rear of the existing porte-cochère. The proposed garage will be obscured by an existing 5 foot block wall and will only be partially visible from E. Fern Avenue. The proposed project will be

consistent with the Secretary of Interior's Standards and compatible with the architectural features and characteristics of the property.

C) Secretary of the Interior Standards

The National Park Services has developed a website, which discusses the application of the Secretary of Interior's Standards for new construction (<https://www.nps.gov/tps/standards/applying-rehabilitation/successful-rehab/new-construction.htm>). The site discusses how new construction needs to be built in a manner that protects the integrity of the historic building and the characteristics of the property. The subject property is located within Historic District No. 5 (East Fern Avenue Historic and Scenic District) which includes a wide range of properties on the south side and north side of East Fern Avenue.

The following guidelines are intended as an advisory tool to help guide the work or changes to historic resources. After reviewing the project plans and the proposed scope of work, staff determined that the project complies with the Standards for New Construction.

1. Related new construction – including buildings, driveways, parking lots, landscape improvements and other new features – must not alter the historic character of a property. A property's historic function must be evident even if there is a change of use.

The proposed scope of work includes demolishing an existing detached shed and constructing a new detached garage with a bathroom and a workshop. The applicant also proposes to add a bathroom within the existing footprint of an existing pool house that is located at the rear of the main residence. The proposed garage will be located approximately 90 feet from the front property line visible E. Fern Avenue and will include two carriage style doors that face E. Fern Avenue. The proposed garage is located towards the rear portion of an existing porte-cochère and will be primarily screened by an existing five (5) foot tall block wall. The proposed garage will be detached from the main residence and is approximately 20 feet from the main residence. No exterior changes to the existing residence or pool house are proposed.

2. The location of new construction should be considered carefully in order to follow the setbacks of historic buildings and to avoid blocking their primary elevations. New construction should be placed away from or at the side or rear of historic buildings and must avoid obscuring, damaging, or destroying character-defining features of these buildings or the site.

The proposed garage will be located towards the rear portion of an existing porte-cochère and will have access along E. Fern Avenue. The proposed garage will have an approximately 20 foot setback from the existing porte-cochère and from the main

residence. The proposed garage complies with the setback, lot coverage, and building separation requirements for accessory structures. The proposed garage will not block the view of the primary elevation as the garage is located towards the northern portion of the main residence.

3. Protecting the historic setting and context of a property, including the degree of open space and building density, must always be considered when planning new construction on an historic site. This entails identifying the formal or informal arrangements of buildings on the site, and whether they have a distinctive urban, suburban, or rural character. For example, a historic building traditionally surrounded by open space must not be crowded with dense development.

The proposed garage complies with the lot coverage requirements for the R-2-2000 (Multiple-Family Residential) District. The maximum coverage by structures in the R-2-2000 District is 45% of the lot area and the proposed project is at 22.2%. In addition, the proposed scope of work complies with the maximum coverage requirements for accessory buildings within the rear area yard. The maximum coverage for accessory buildings in the rear yard area is 80% of the rear yard area and the project is at 25.64%. The proposed garage will not change the density or create a dense development.

4. In properties with multiple historic buildings, the historic relationship between buildings must also be protected. Contributing buildings must not be isolated from one another by the insertion of new construction.

The property is located within Historic District No. 5 (East Fern Avenue Historic and Scenic District). The existing single-family residence is not an individual designated historic resource. The proposed garage will be detached and will not affect the historic relationship between buildings.

5. As with new additions, the massing, size, scale, and architectural features of new construction on the site of a historic building must be compatible with those of the historic building. When visible and in close proximity to historic buildings, the new construction must be subordinate to these buildings. New construction should also be distinct from the old and must not attempt to replicate historic buildings elsewhere on site and to avoid creating a false sense of historic development.

The proposed garage will have similar massing, size, scale, and architectural features as the existing single-family residence. The proposed garage will have an overall height of 16'-4" and have a similar height as the existing single-family residence. No changes are proposed to the existing single-family residence. The proposed garage will have a smooth stucco finish in the same color and texture to match the existing residence and will incorporate similar, yet simplified features such as the Spanish style concrete tile roof, rafter tails, arches, and the decorative attic vents. The proposed garage will be

differentiated through the use of rectangular windows. The new horizontally sliding windows will differ from the window openings on the primary dwelling, which are arched in shape. As all the new windows on the garage are on the side and rear elevations, they will not be visible from the street and will not alter the way the property relates to the historic district. The garage has been designed to present as an ancillary structure, detached from the primary dwelling, as to be complimentary but not detract from the historic integrity of the dwelling. The applicant had proposed that the windows on the garage be vinyl in material, however, staff has included a condition of approval for wood framed windows that would be more appropriate to the time period.

6. The limitations on the size, scale, and design of new construction may be less critical the farther it is located from historic buildings.

The proposed garage will be located towards the northeastern portion of the subject property and is approximately 20 feet from the main residence and the existing porte-cochère. The proposed garage will be separated from the main residence via existing pavement and a landscaped area. The proposed garage will have a similar size, scale, and design as the existing residence and will not be detrimental to the overall design or characteristics of the property.

7. As with additions, maximizing the advantage of existing site conditions, such as wooded areas or drops in grade that limit visibility is highly recommended.

The proposed scope of work includes constructing a new detached garage. Additions or modifications to the existing dwelling are not proposed. The proposed garage will be located approximately 90 feet from the front property line and will not block the visibility of the main residence. The proposed garage will be visible from E. Fern Avenue but will be placed at the rear of an existing block wall and a decorative wrought iron gate.

8. Historic landscapes and significant viewsheds must be preserved. Also, significant archeological resources should be taken into account when evaluating the placement of new construction, and, as appropriate, mitigation measures should be implemented if the archeological resources will be disturbed.

The proposed garage will have a similar height as the existing single-family residence. The subject property is located within Historic District No. 5 (East Fern Avenue Historic and Scenic District). The existing dwelling is not an individually designated City Historic Resource. Historic landscaping on the subject property will not be impacted as the new garage will be located within the area where an existing 200 square foot detached shed was previously located. To accommodate the construction of the new garage new concrete is being proposed on an area that includes existing grass. In the event that archeological resources are discovered, the applicable California state law provisions will have to be followed.

Summary:

The proposed project, with the incorporation of standard conditions of approval, will not adversely affect or change the historical resource, not its context. The scope of work is consistent with the Redlands Municipal Code and with the Secretary of the Interior's Standards.

ENVIRONMENTAL REVIEW

The project qualifies for exemption from environmental review in accordance with Section 15331 (Historical Resource Restoration/ Rehabilitation) and Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act Guidelines.

STAFF RECOMMENDATION

Staff recommends that the Historic and Scenic Preservation Commission approve **Certificate of Appropriateness No. 644**, subject to the recommended conditions of approval.

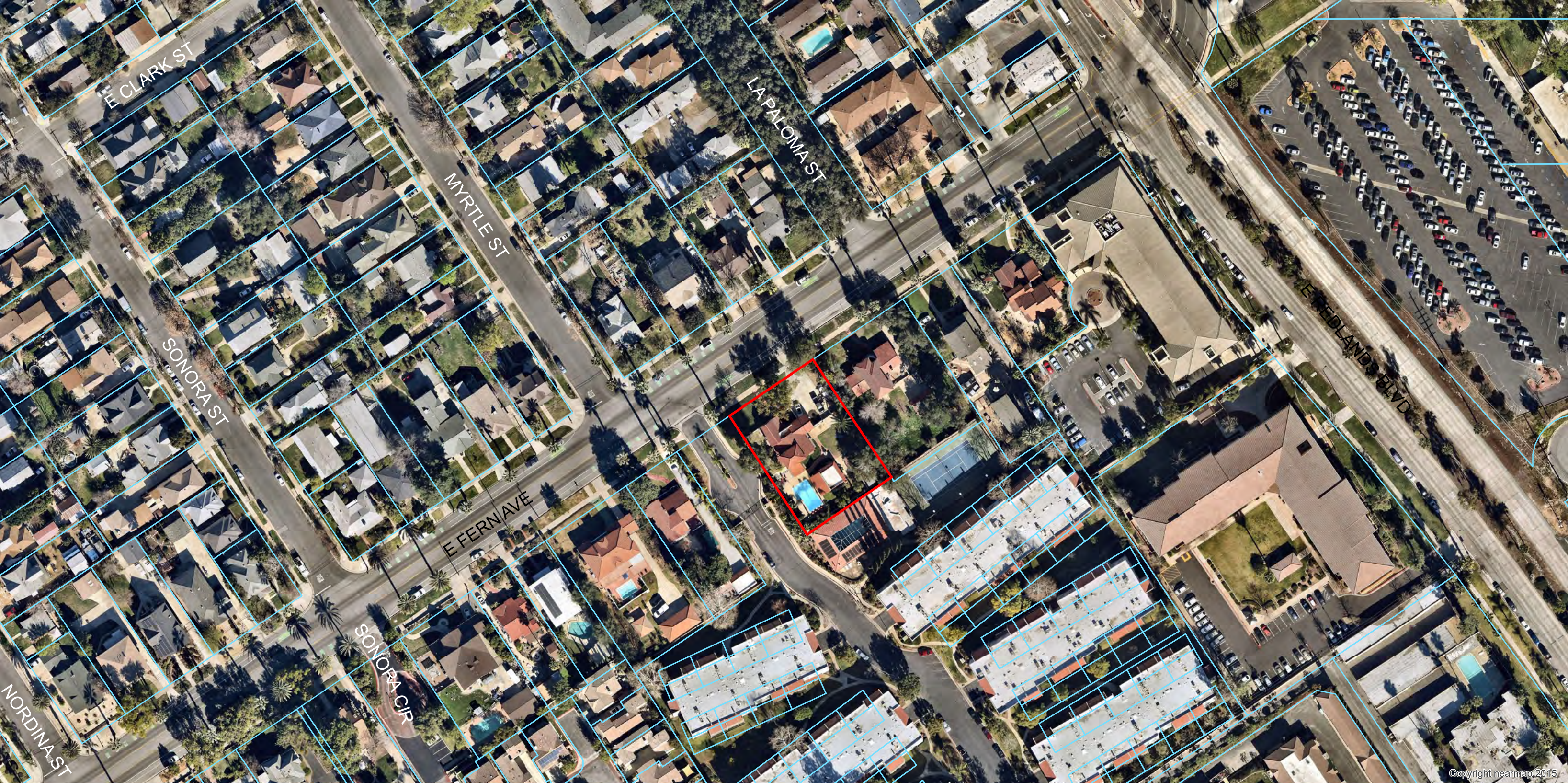
MOTION

If the Historic and Scenic Preservation Commission deems it appropriate, staff recommends the following motion:

"I move that the Historic and Scenic Preservation Commission adopt Resolution No. 2022-07, finding that the project is exempt from further environmental review pursuant to Section 15331 (Historical Resource Restoration/ Rehabilitation) and Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act Guidelines, and approving Certificate of Appropriateness No. 644, subject to conditions of approval.

ATTACHMENT "A"

LOCATION MAP AND AERIAL PHOTOGRAPHS



E CLARK ST

MYRTLE ST

LA PALOMA ST

E EDWARDS BLVD

SONORA ST

E FERNAVE

SONORA CIR

NORDINA ST



E FERN AVE

STOP

ATTACHMENT "B"

SITE PHOTOGRAPHS



Front of Residence



Front Loaded Courtyard



Existing Porte-cochere



Existing Block Wall and Gate



Pool House Front



Pool House Rear



Pool House Side



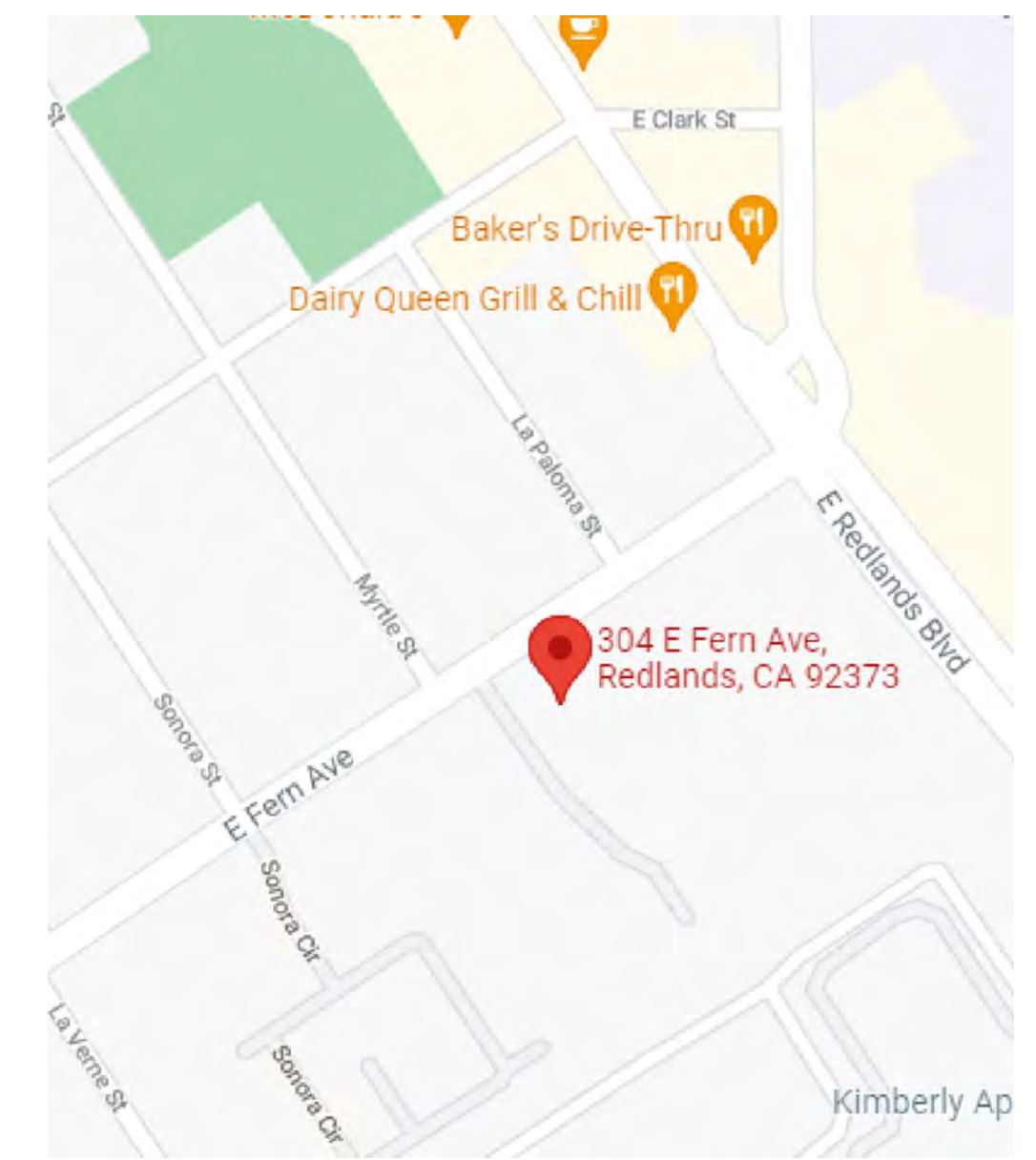
Area where proposed garage will be located

ATTACHMENT "C"

PROJECT PLANS

HUNTSINGER GARAGE

304 East Fern AVE
 REDLANDS, CA. 92373
 APN: 0173-061-29-0000



VICINITY MAP

OWNER: MARK & JILL HUNTSINGER
 SITE ADDRESS: 304 EAST FERN AVE.
 REDLANDS, CA. 92373

APN: 0173-061-29-0000
 TRACT: 61 LOT: 29
 LEGAL: 2ND PREL MAP PTN LOTS 6 AND 7 BLK F DESC AS BEG AT A PT ON SLY LI EAST FERN AVE 35 FT E OF NW COR SD LOT 7 TH S 56 DEG 20 MIN W 115 FT ALG SLY LI SD FERN AVE TH S 33 DEG 40 MIN E 160 FT TH N 56 DEG 20 MIN E 115 FT TH N 33 DEG 40 MIN W 160 FT M/L TO POB

EXISTING RESIDENCE FOOTPRINT: 1,750 S.F.
 EXISTING DETACHED SHED: 200 S.F. TO BE REMOVED
 PROPOSED DETACHED GARAGE: 1,235 S.F.
 EXISTING POOL HOUSE: 470 S.F.
 EXISTING PORTE-COCHERE: 428 S.F.
 EXISTING COVERED PATIO: 208 S.F.
 OCCUPANCY: R-3
 TYPE OF CONSTRUCTION: V-B (NON-SPRINKLERED)
 ZONING DISTRICT: R-2-2000 (MULTI-FAMILY RESIDENTIAL) DISTRICT

LOT COVERAGE CALCULATION: 45% MAX. OF LOT AREA
 $18,400 \times .45 = 8,280$ S.F. MAX. ALLOWED
 EXISTING FOOTPRINT = 1,750 S.F.
 PROPOSED GARAGE = 1,235 S.F.
 EXISTING POOL HOUSE = 470 S.F.
 EXISTING PORTE-COCHERE = 428 S.F.
 EXISTING COVERED PATIO = 208 S.F.
 NEW TOTAL FOOTPRINT = 4,091 S.F. (22.2%) < 8,280 S.F.(45%)

ACCESSORY BUILDING/REAR YARD COVERAGE: 80% MAX. OF REAR YARD
 EXISTING REAR YARD = 7,460 S.F.

EXISTING POOL HOUSE = 470 S.F.
 EXISTING COVERED PATIO = 208 S.F.
 PROPOSED GARAGE = 1,235 S.F.
 TOTAL REAR YARD FOOTPRINT = 1,913 S.F.
 $1,913 / 7,460 \times 100 = 25.64\% < 25.64\% / 80\%$

SCOPE OF WORK
 -DEMOLISH EXISTING DETACHED SHED
 -ADDING NEW DETACHED GARAGE WITH BATHROOM 1,235 S.F.
 -ADDING NEW BATHROOM 34 S.F. TO EXISTING POOL HOUSE 470 S.F.
 (NO ADDITION TO SQUARE FOOTAGE OF EXISTING POOL HOUSE)

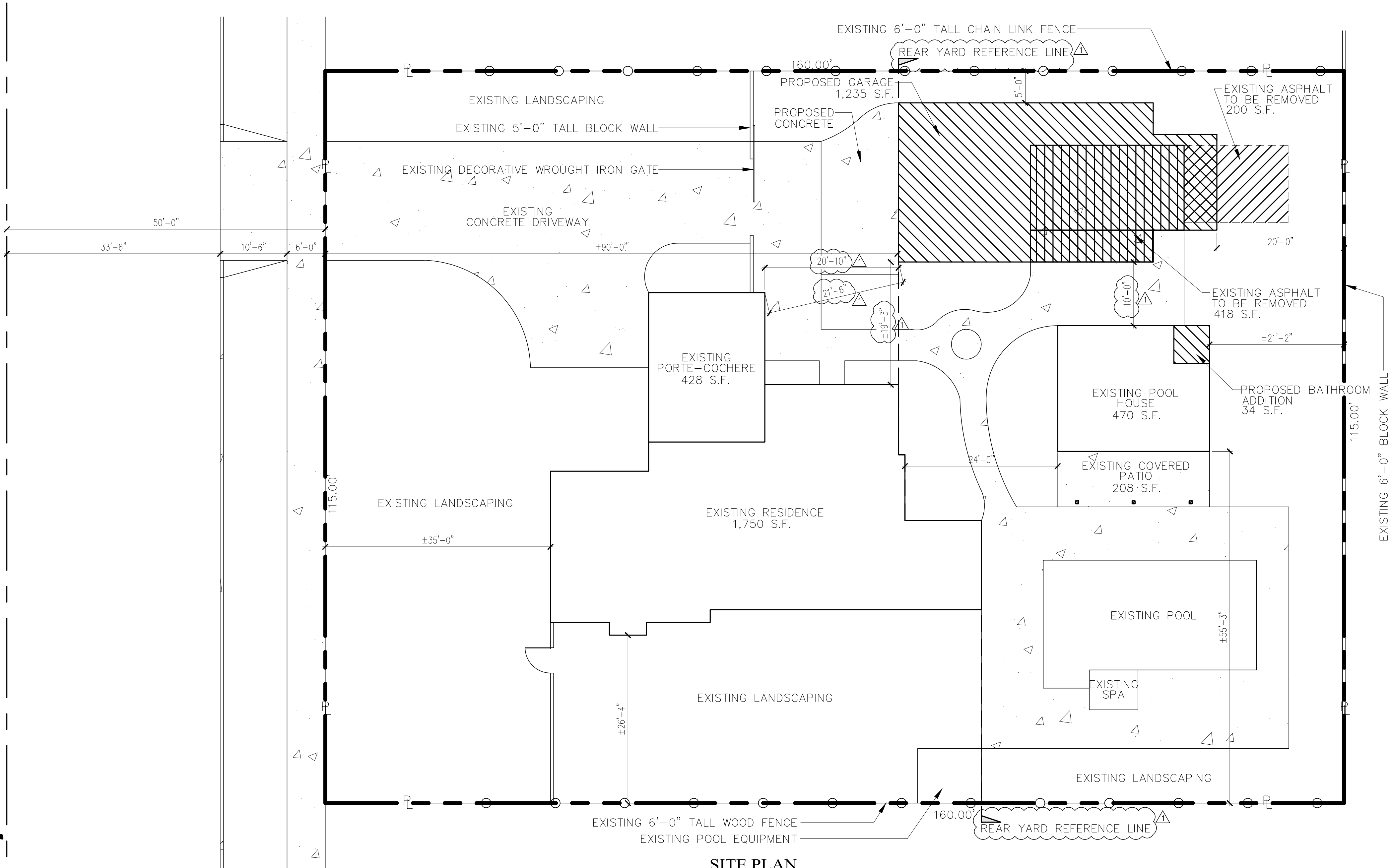
SITE DATA

APPLICABLE CODES:

State Code:
 2019 C.B.C.
 2019 C.M.C.
 2019 C.P.C.
 2019 C.E.C.
 2019 C.F.C.
 2019 California Green Building Code
 2019 California Energy Code
 2019 California Residential Code
 All new work shall comply with listed codes and all current local and state amendments.

AVE.

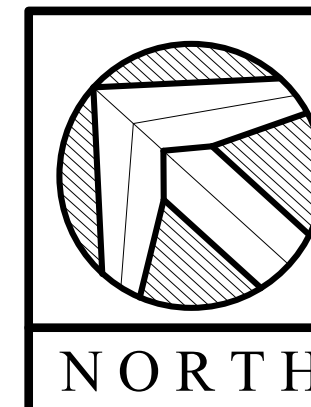
FERN



SITE PLAN
 SCALE: 1" = 10'-0"

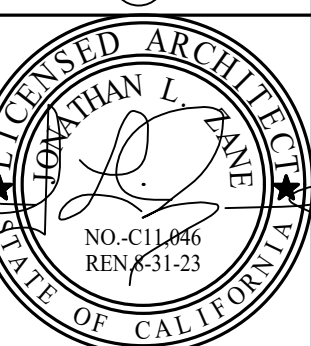
SHEET INDEX

- C-1: SITE PLAN
- A-1.1: FLOOR PLAN(EXISTING & PROPOSED)
- A-1.2: EXTERIOR ELEVATIONS & ROOF PLAN & CROSS SECTION
- S-1: STRUCTURAL PLAN(FOUNDATION & FRAMING)
- SD-1: STRUCTURAL DETAILS
- SD-2: STRUCTURAL DETAILS
- U-1: UTILITY PLAN(ELECTRICAL & PLUMBING)



REVISIONS	
DATE:	BY:
02-01-2022	R. LEE

FINE LINE DESIGNS
 FINELINEDESIGN73@YAHOO.COM
 563 Jefferson St.
 Redlands, CA 92374
 (909) 363-5153



DATE: 02-01-2022

A PROJECT FOR:
HUNTSINGER GARAGE
 LOCATED AT:
 304 EAST FERN AVE.
 REDLANDS, CA. 92373

APPLICABLE CODES	APPLICABLE CODES
2019 C.B.C.	2019 C.B.C.
2019 C.M.C.	2019 C.M.C.
2019 C.P.C.	2019 C.P.C.
2019 C.E.C.	2019 C.E.C.
2019 C.F.C.	2019 C.F.C.
2019 California Green Building Code	2019 California Green Building Code
2019 California Energy Code	2019 California Energy Code
2019 California Residential Code	2019 California Residential Code

NOTICE:
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DATE: 02-01-2022

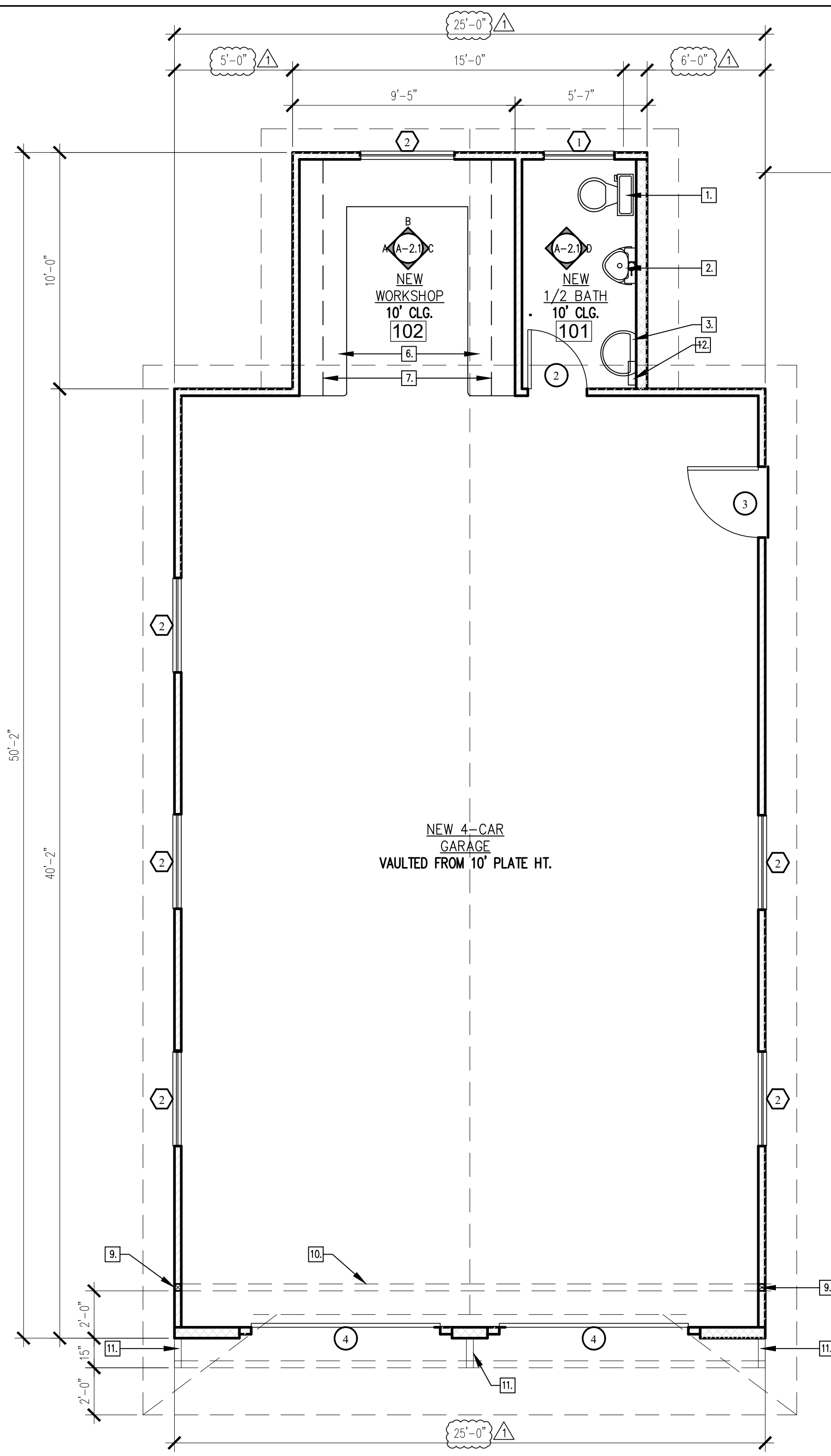
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DRAWN: R. LEE

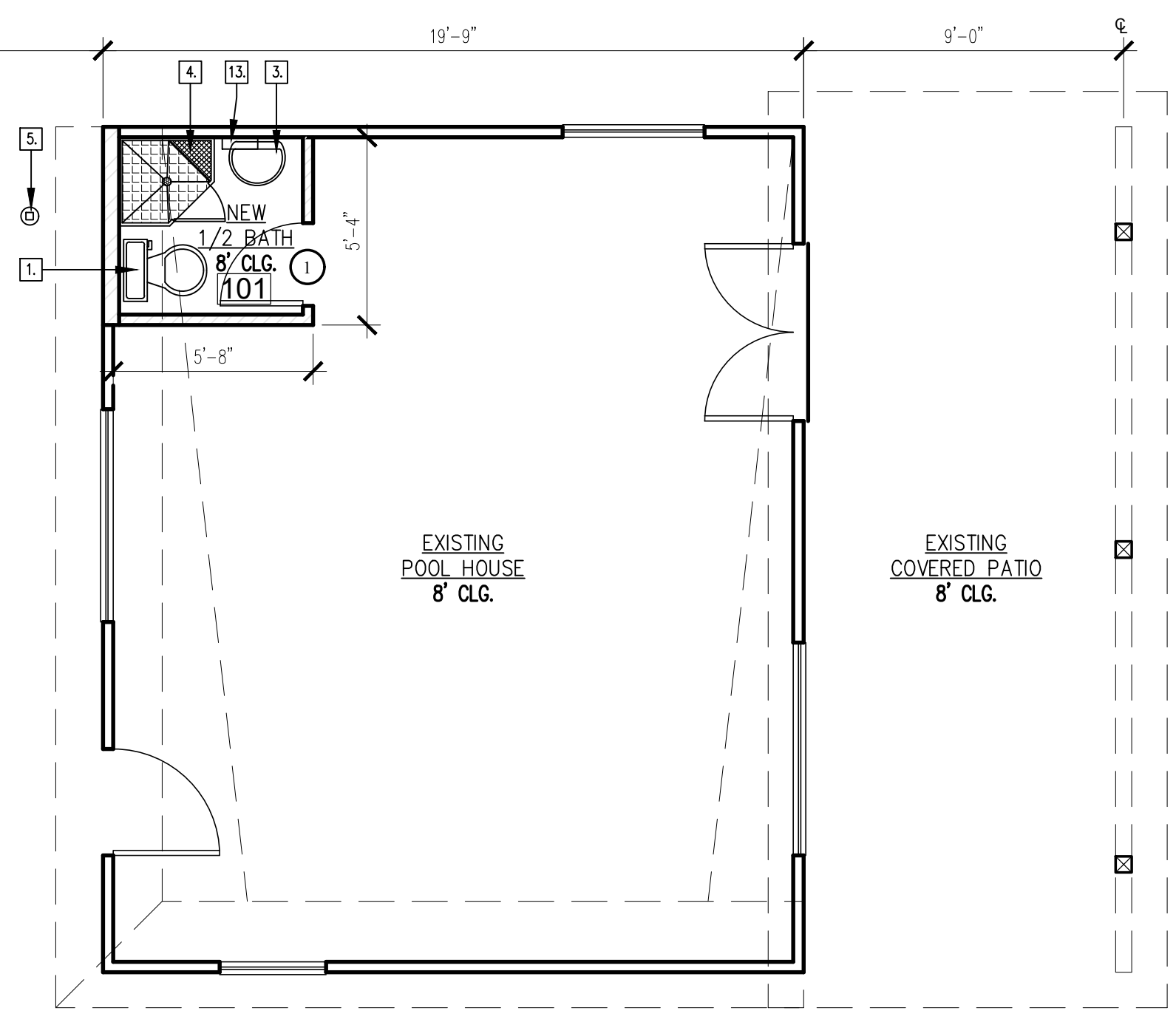
JOB: 21-051

SHEET:

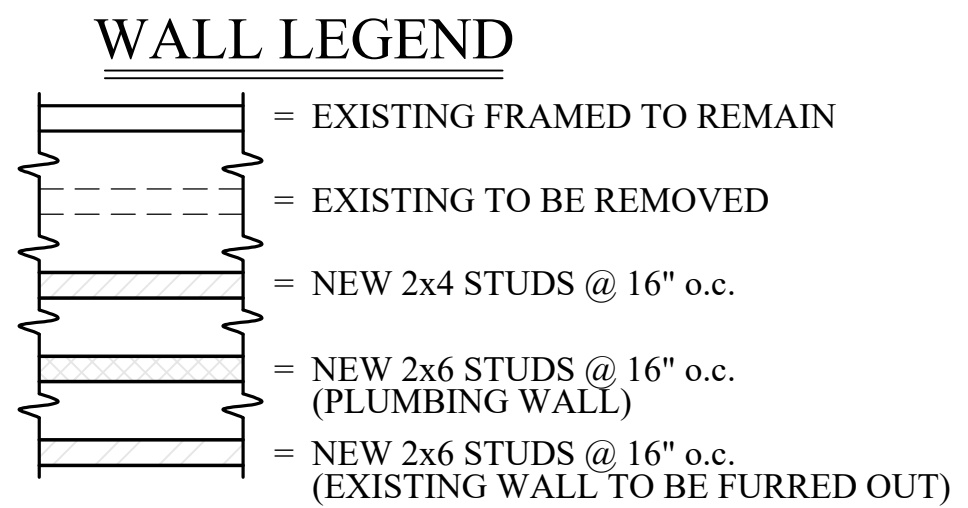
C-1



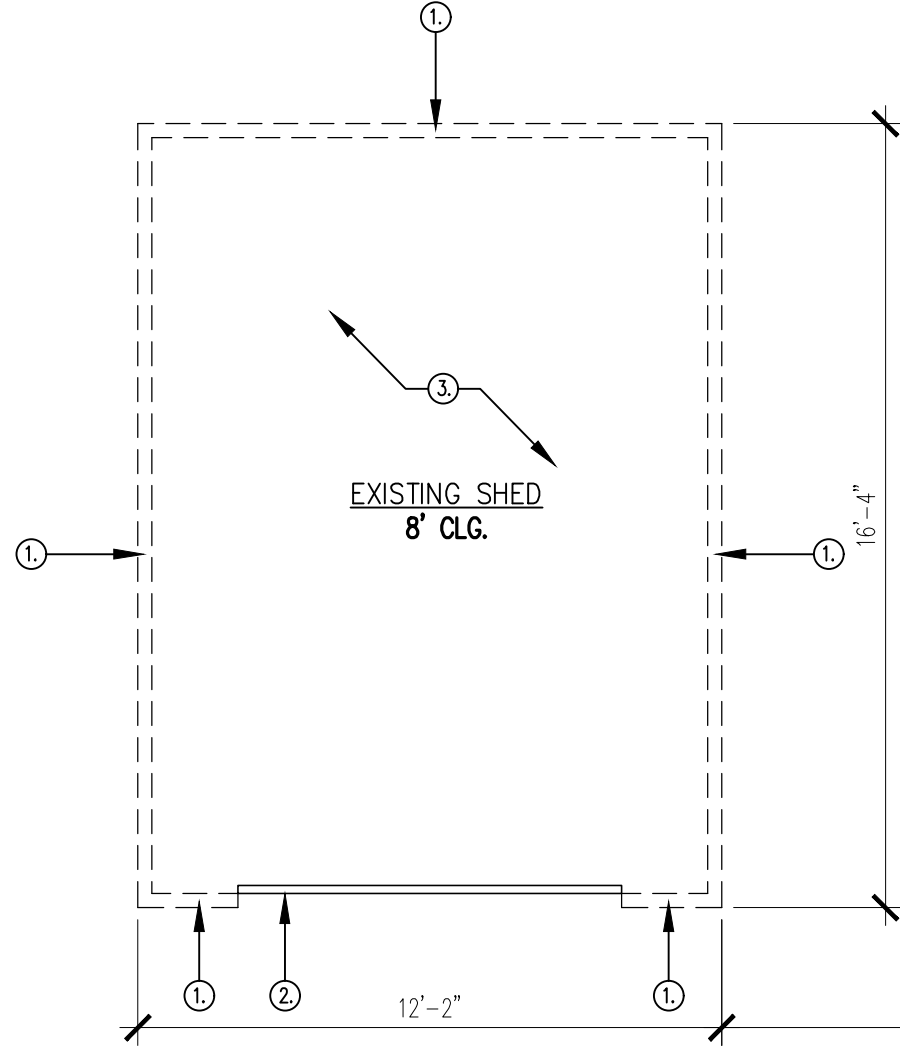
PROPOSED FLOOR PLAN GARAGE
SCALE: 1/4" = 1'-0"
1,235 S.F.



PROPOSED FLOOR PLAN POOL HOUSE
SCALE: 1/4" = 1'-0"
470 S.F.



- NOTES:**
- HOT MOPPED SHOWER PAN SHALL BE INSPECTED UPON COMPLETION OF HOT-MOPPING AND SHALL BE FILLED WITH WATER FOR INSPECTION.
 - PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION & ANTI-SIPHON DEVICE ON ALL EXTERIOR HOSE BIBS.
 - PROVIDE PRESSURE REGULATOR FOR WATER SERVICE WHERE STATIC PRESSURE EXCEEDS 80psi.
 - PROVIDE A COMBINATION PRESSURE AND TEMPERATURE RELIEF VALVE AT ALL WATER HEATERS, SET TO OPEN AT NOT MORE THAN 150psi. DRAIN PIPE SHALL EXTEND TO OUTSIDE OF BUILDING AND TERMINATE NOT MORE THAN 2 FEET (2'-0") NOR LESS THAN SIX INCHES (6") ABOVE THE GROUND AND POINT DOWNWARD WITH THE END UNOBSTRUCTED. ANY OTHER TERMINATION LOCATION SHALL REQUIRE APPROVAL BY THE BUILDING OFFICIAL.
 - PROVIDE ONE PERMANENT 30" sq.in. OR LARGER COMBUSTION AIR OPENING IN CEILING w/DIRECT DUCT TO OUTSIDE AIR PER C.M.C. SECT. 701.4.2 & FIG. 7-5.
 - SHOWER AND TUB AREAS SHALL BE FINISHED WITH A HARD, NON ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 70" ABOVE DRAIN INLET. SHOWER ENCLOSURE SHALL BE SHATTERPROOF WITH DOOR SWINGING OUT (IF APPLICABLE) and SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE or THERMOSTATIC MIXING TYPE.
 - CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM or FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL/CEILING TILE & MANUFACTURED PANELS (FIBERGLASS (FRP), STONE, PRE-MANUF. ENCLOSURES) IN TUB AND SHOWER AREAS.
 - EXHAUST FANS SHALL BE CONTINUOUS AND TERMINATE OUTSIDE OF THE BUILDING OR STRUCTURE.
 - NOTE: BATHROOM AND KITCHEN EXHAUST FANS ARE NOT PART OF THE Indoor Air Quality (IAQ) VENTILATION SYSTEM. SEE CALCULATION FOR EXHAUST FAN (EF) ON ELECTRICAL PLAN FOR WHOLE HOUSE VENTING AS REQUIRED.
 - A 120V CONVENIENCE RECEPTACLE WITHIN 36" WITH NO OBSTRUCTIONS
 - PROVIDE WEATHER STRIPS or OTHER APPROVED SEALANT AT THE ATTIC ACCESS PANEL TO PREVENT BACK DRAFT.
 - PROVIDE WEATHER STRIPPING AT DOORS FROM HEATED SPACES.
 - IRRIGATION CONTROLLERS INSTALLED BY THE BUILDER, PRIOR TO FINAL INSPECTION SHALL BE WEATHER or SOIL MOISTURE BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IN RESPONSE TO CHANGES IN LANDSCAPING NEEDS AS WEATHER CONDITIONS. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER. SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.
 - BLUE, 18 AWG TRACER WIRE SUITABLE FOR DIRECT BURIAL SHALL BE INSTALLED WITH ALL PLASTIC, UNDERGROUND WATER LINES INSTALLED OUTSIDE OF BUILDING FOOTPRINT ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SILL PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CEMENTITIOUS GROUT OR SEALANT.
 - PIPING INSTALLED IN EXTERIOR or INTERIOR WALL(S), 3/4" NOM. DIA. OR LARGER SHALL HAVE MIN. 1.5" THICK INSULATION.
 - PER C.B.C. SECT. 1008.1.6, THRESHOLD HEIGHT AT DOORWAYS SHALL NOT EXCEED 0.75" FOR SLIDING DOORS AND 0.5" FOR SWING DOORS (EXCEPTION: THRESHOLD HEIGHT CAN BE 7.75" MAX IF DOOR IS NOT A REQUIRED EXIT OR DOES NOT SWING OVER THE LANDING).
 - INSTANTANEOUS WATER HEATER SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND HOT WATER SUPPLY, AND THE HOT WATER PIPE LEAVING THE WATER HEATER, AND HOSE BIBS or OTHER FITTINGS ON EACH VALVE FOR FLUSHING.
 - ANY/ALL UNDER SLAB WATER PIPING SHALL BE INSTALLED IN A WATERPROOF, NON-CRUSHABLE SLEEVE or CASING THAT ALLOWS FOR INSTALLATION, REMOVAL AND REPLACEMENT OF BOTH THE ENCLOSED PIPE AND ITS INSULATION.

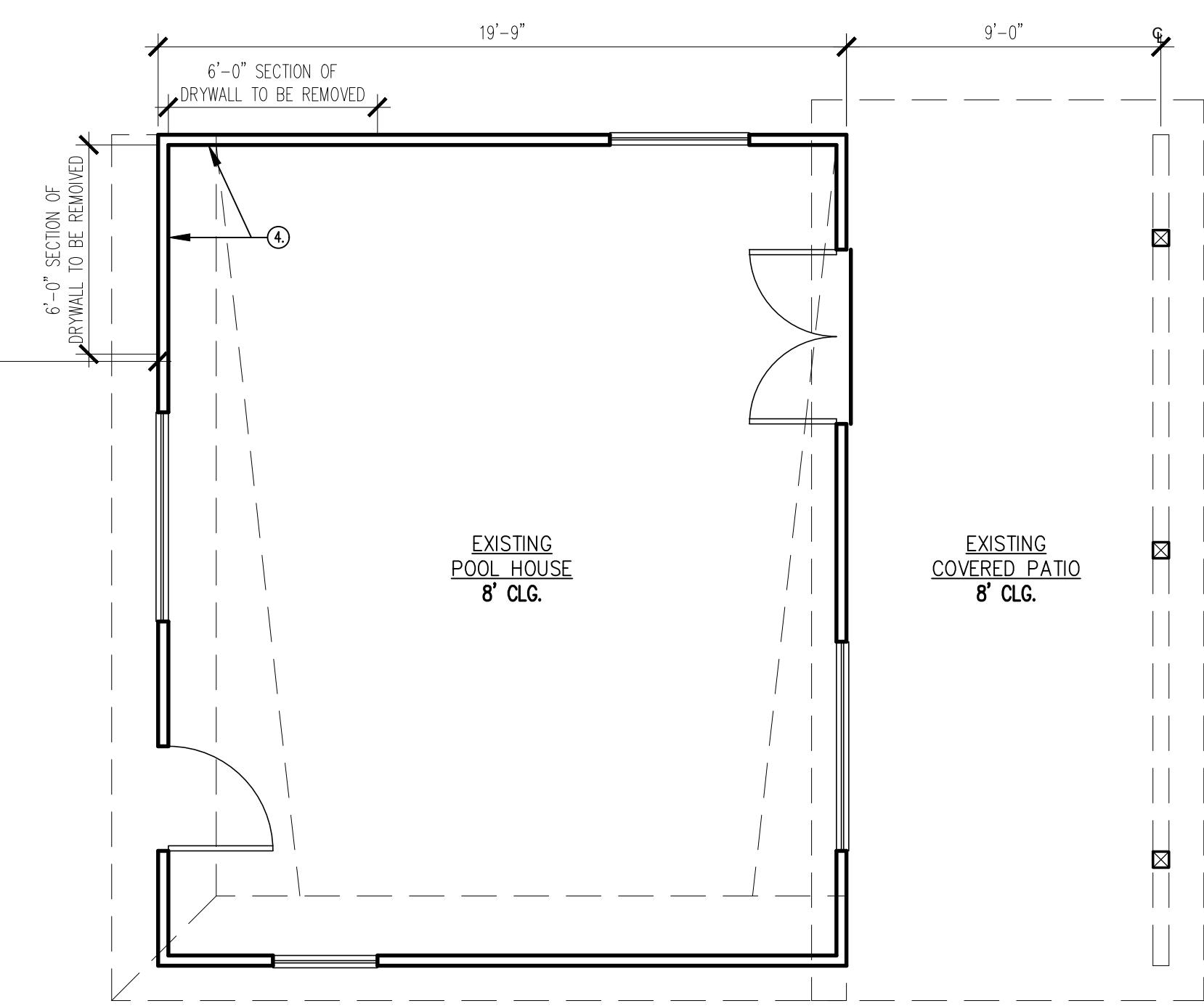


EXISTING SHED FLOOR PLAN
SCALE: 1/4" = 1'-0"
200 S.F.

ROOM FINISH SCHEDULE										
ROOM / AREA	FLOOR		BASE		WALLS		CEILING		NOTES & FINISH	
	101	EXPOSED CONCRETE	CERAMIC TILE	CARPET	HARDWOOD LAMINATE	3/4" T&G PLYWOOD	5/8x2.5" WOOD STREAMLINE	4" RUBBER COVE BASE		6" CERAMIC TILE
102	EXPOSED CONCRETE	CERAMIC TILE	CARPET	HARDWOOD LAMINATE	3/4" T&G PLYWOOD	5/8x2.5" WOOD STREAMLINE	4" RUBBER COVE BASE	6" CERAMIC TILE	5" DRYWALL w/ MEDIUM TEXTURE & ENAMEL PAINT	

DOOR SCHEDULE									
SYMBOL	QUANTITY	SIZE		TYPE	FRAME	MATERIAL	HARDWARE	NOTES & FINISH	
		WIDTH	HEIGHT						
1	1	2'-4"	6'-8"	ROLL-UP GARAGE	WOOD	STEEL		NOTES: 1) DOOR SHALL HAVE PRIVACY LOCK. 2) DOOR SHALL HAVE SECURITY DEARBOLT. 3) DOOR SHALL HAVE ELECTRIC OPENER.	
2	1	2'-6"	6'-8"	H.C.	WOOD	WOOD			
3	1	3'-0"	6'-8"	WOOD SWING	WOOD	VINYL			
4	2	8'-0"	8'-0"	8'-0" WOOD SWING BATH DOOR	WOOD	WOOD			

WINDOW SCHEDULE									
SYMBOL	QUANTITY	SIZE		TYPE	GLASS	MATERIAL	NOTES & FINISH		
		WIDTH	HEIGHT						
1	1	3'-0"	1'-6"	FIXED	DUAL PANE	VINYL	NOTES: 1) GLASS ON WINDOWS TO BE FROSTED TO OBSCURE VISION.		
2	6	4'-0"	5'-6"	FIXED	MINIMUM 7/16" U-VALUE	VINYL			
					PER TITLE 24	WOOD			



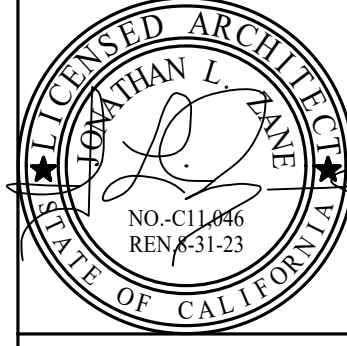
EXISTING POOL HOUSE FLOOR PLAN
SCALE: 1/4" = 1'-0"
470 S.F.

- DEMOLITION PLAN KEY NOTES**
- EXISTING WALL AND CONCRETE FOOTING TO BE REMOVED.
 - EXISTING GARAGE DOOR TO BE REMOVED.
 - EXISTING CONCRETE SLAB TO BE REMOVED.
 - EXISTING DRYWALL TO BE REMOVED FOR NEW BATHROOM PER PROPOSED FLOOR PLAN SHEET A-1.1.

- PROPOSED PLAN KEY NOTES**
- NEW WATER CLOSET PER PLUMBING PLAN ON SHEET U-1.
 - NEW WALL MOUNT URINAL PER PLUMBING PLAN ON SHEET U-1.
 - NEW PEDESTAL SINK WITH FAUCET PER PLUMBING PLAN ON SHEET U-1.
 - NEW 32" SQ. FIBERGLASS SHOWER INSERT WITH GLASS SURROUND PER PLUMBING PLAN ON SHEET U-1.
 - EXISTING 4" CLEAN OUT TO BE USED FOR SEMER TIE IN PER PLUMBING PLAN ON SHEET U-1.
 - 36" HIGH BASE CABINETS w/ COUNTER TOP PER OWNER.
 - 36" HIGH WALL CABINETS PER OWNER.
 - BEAM ABOVE WITH FRAMED WALL ABOVE PER FRAMING PLAN ON SHEET S-1.
 - 4x4 POST PER FRAMING PLAN ON SHEET S-1.
 - BEAM ABOVE PER FRAMING PLAN ON SHEET S-1.
 - 4x4 DIAGONAL SUPPORT PER FRAMING PLAN ON SHEET S-1.
 - INSTA-HOT INSTANT HOT LAVATORY WATER HEATER.
 - INSTA-HOT INSTANT HOT SHOWER WATER HEATER.

REVISIONS	
DATE:	BY:
02-01-2022	R. LEE

FINE LINE DESIGNS
FINELINEDESIGN73@YAHOO.COM
563 Jefferson St.
Redlands, CA 92374
(909) 365-5150



DATE: 02-01-2022

A PROJECT FOR:
HUNTSINGER GARAGE
LOCATED AT:
304 EAST PERNAVE
REDLANDS, CA. 92373

APPLICABLE CODES:

Local Code:	Model Code:
2019 C.M.C.	2018 U.M.C.
2019 C.P.C.	2018 U.P.C.
2019 C.F.C.	2018 N.E.C.
2019 C.E.C.	2019 California Residential Code
2019 California Green Standards	2019 California Green Standards

All new work shall comply with listed codes. All in excess, local and state amendments.

NOTICE:
The designs and ideas indicated by these drawings were created for the use of this project only and are the sole property of Fine Line Designs. These designs may not be used for any other purpose whatsoever or reproduced without the written consent of Fine Line Designs.

DATE: 02-01-2022

SCALE: 1/4" = 1'-0"

DRAWN BY: R. LEE

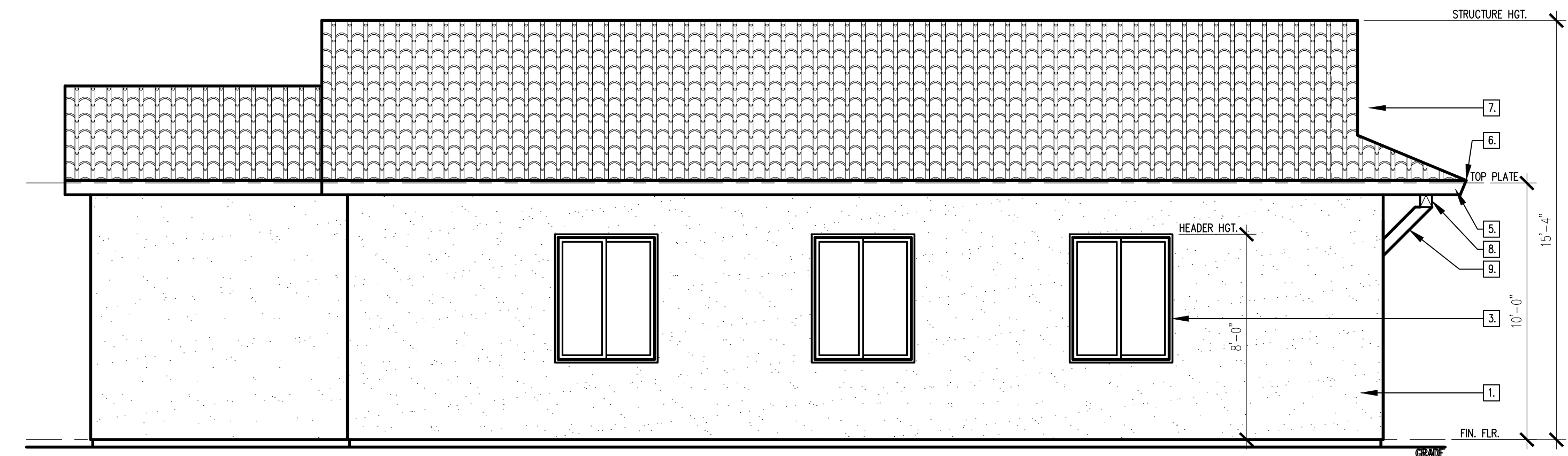
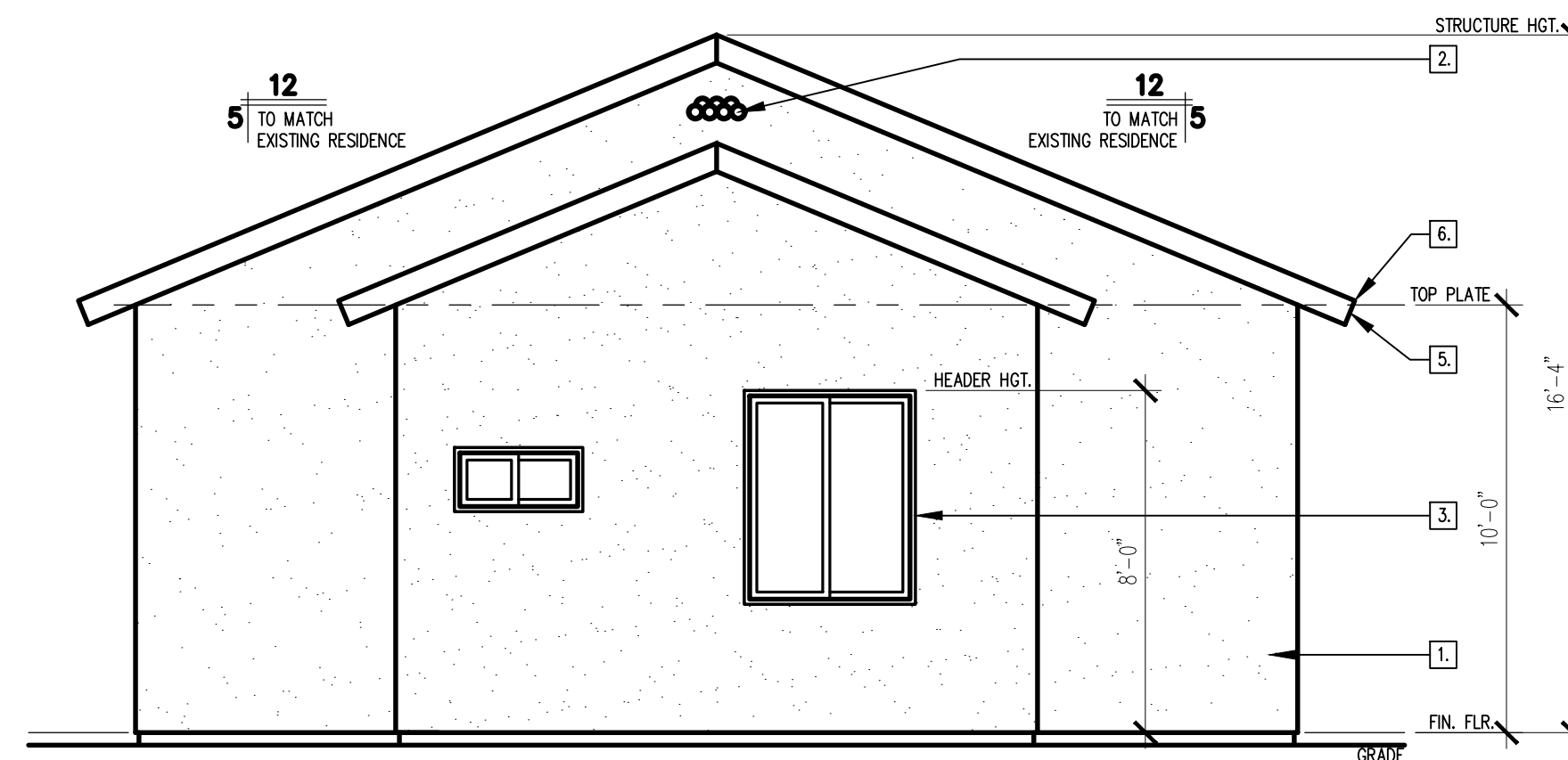
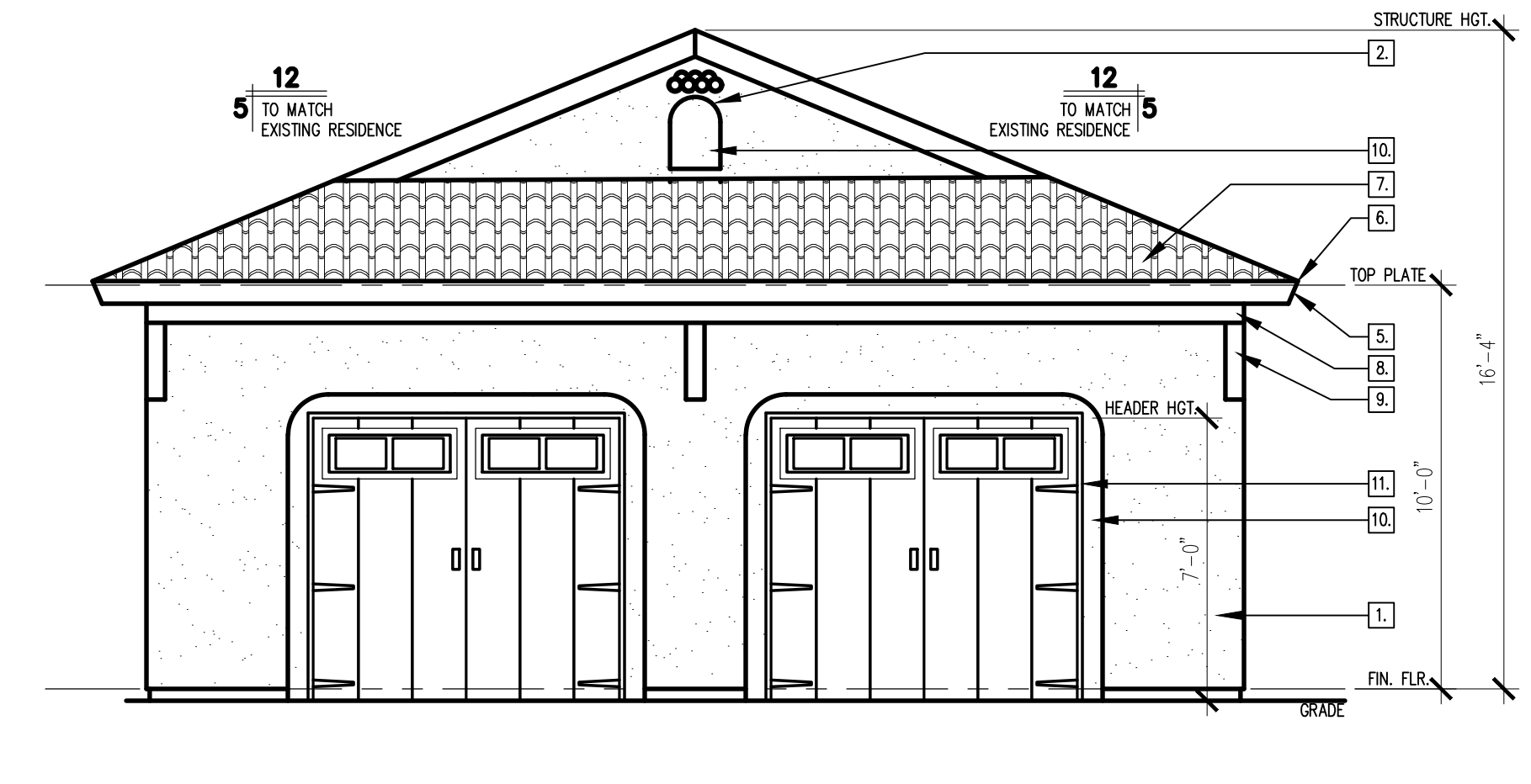
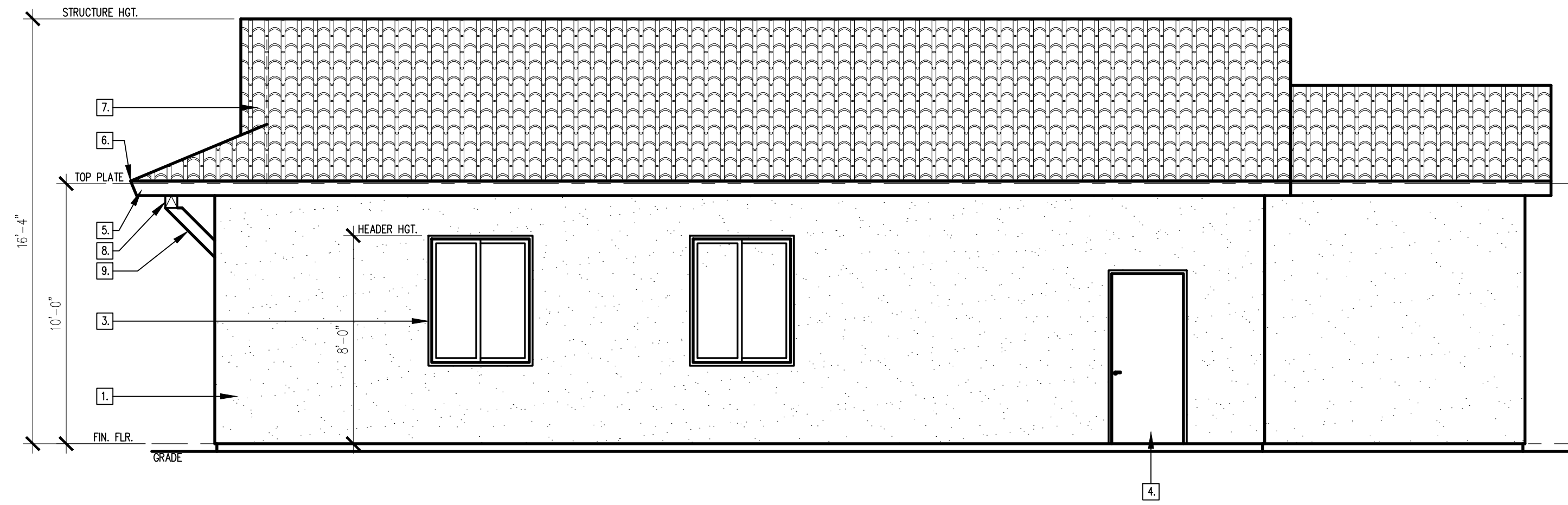
JOB: 21-051

SHEET:

A-1.1

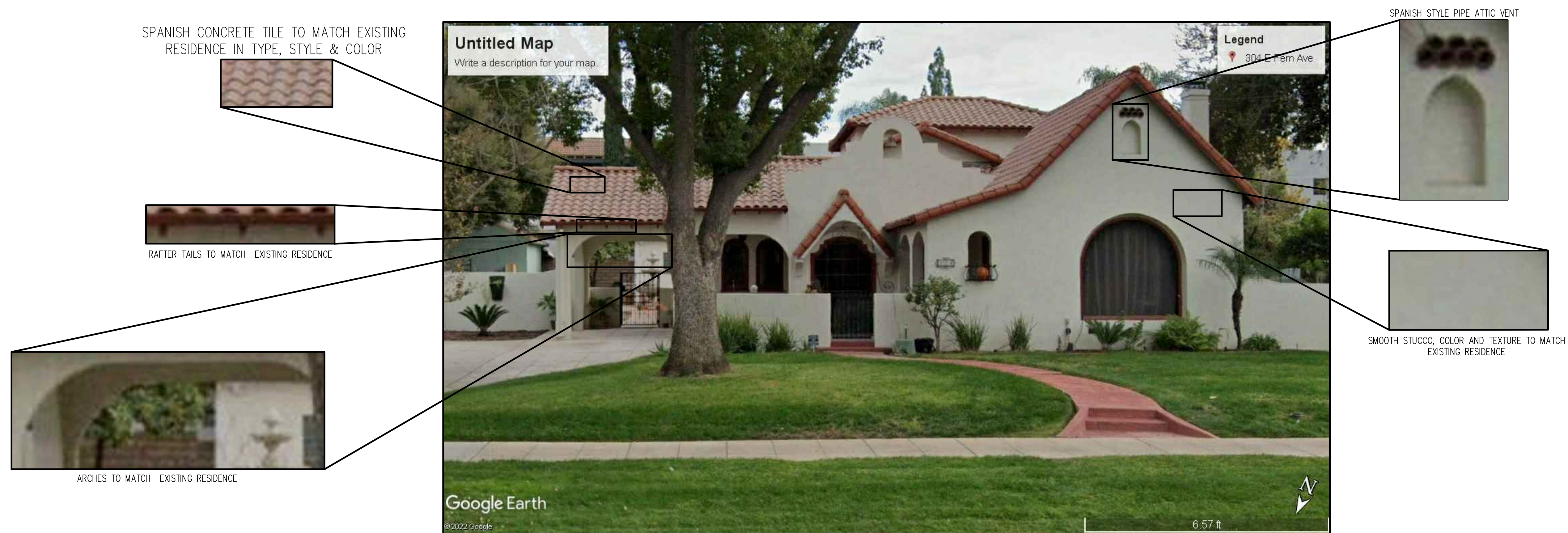


- ELEVATION KEY NOTES**
- NEW 1" SMOOTH STUCCO OVER WIRE & LATH WITH MOISTURE BARRIER, COLOR AND TEXTURE TO MATCH EXISTING RESIDENCE.
 - SPANISH STYLE PIPE ATTIC VENT PER ATTIC CALCULATION ON THIS SHEET.
 - WINDOW PER WINDOW SCHEDULE ON THIS SHEET.
 - DOOR PER DOOR SCHEDULE ON THIS SHEET.
 - NEW D.F. 2x6 RAFTER TAILS TO MATCH EXISTING RESIDENCE.
 - NEW 2" METAL DRIP EDGE.
 - NEW SPANISH CONCRETE TILE TO MATCH EXISTING RESIDENCE IN TYPE, STYLE & COLOR OVER MOISTURE BARRIER.
 - NEW D.F. 6x12 SUPPORT BEAM PER FRAMING PLAN ON SHEET S-1.
 - NEW D.F. 6x6 DIAGONAL SUPPORT PER FRAMING PLAN ON SHEET S-1.
 - NEW DECORATIVE INSET WITH SMOOTH STUCCO OVER MOISTURE BARRIER TO MATCH EXISTING RESIDENCE.
 - NEW CARRIAGE STYLE GARAGE DOORS PER OWNER.



BACK ELEVATION(EAST)
SCALE: 1/4" = 1'-0"

SIDE ELEVATION(NORTH)
SCALE: 1/4" = 1'-0"



EX. RESIDENCE FRONT ELEVATION
SCALE: N.T.S.

REVISIONS	
DATE:	BY:
02-01-2022	R. LEE

FINE LINE DESIGNS
FINELINEDESIGN73@YAHOO.COM

563 Jefferson St.
Redlands, CA 92374
(909) 363-5153

DATE: 02-01-2022

A PROJECT FOR:
HUNTSINGER GARAGE
LOCATED AT:
304 EAST FERN AVE
REDLANDS, CA. 92373

APPLICABLE CODES:

Local Code:	Model Code:
2019 C.M.C.	2019 C.M.C.
2018 U.M.C.	2018 U.M.C.
2019 C.P.C.	2019 C.P.C.
2018 N.E.C.	2018 N.E.C.
2019 C.F.C.	2019 C.F.C.
2019 California Energy Code	2019 California Energy Code
2019 California Residential Code	2019 California Residential Code
2019 California Green Standards	2019 California Green Standards

All new work shall comply with listed codes. All in excess local and state amendments.

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DATE: 02-01-2022

SCALE: 1/4" = 1'-0"

DRAWN: R. LEE

JOB: 21-051

SHEET:

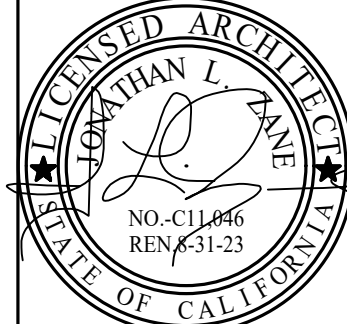
A-1.2a



PROPOSED RESIDENCE FRONT ELEVATION
SCALE : N.T.S.

REVISIONS	
DATE:	BY:
02-01-2022	R. LEE

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FINELINEDESIGN73@YAHOO.COM
563 Jefferson St.
Redlands, CA 92374
(909) 365-5153



DATE : 02-01-2022

A PROJECT FOR:
HUNTSINGER GARAGE
LOCATED AT:
304 EASTERN AVE
REDLANDS, CA. 92373

APPLICABLE CODES:
Local Code: 2019 C.M.C.
Local Code: 2019 C.P.C.
Local Code: 2018 U.M.C.
Local Code: 2018 U.P.C.
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Local Code: 2019 C.C.C.
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All new work shall comply with listed codes
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NOTICE:
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DATE : 02-01-2022

SCALE : 1/4" = 1'-0"

DRAWN : R. LEE

JOB : 21-051

SHEET :

A-1.2b

ATTACHMENT "D"

RESOLUTION 2022 – 07 WITH EXHIBIT A (CONDITIONS OF
APPROVAL)

RESOLUTION NO. 2022-07

A RESOLUTION OF THE HISTORIC AND SCENIC PRESERVATION COMMISSION OF THE CITY OF REDLANDS APPROVING CERTIFICATE OF APPROPRIATENESS NO. 644 TO DEMOLISH AN EXISTING DETACHED SHED AND CONSTRUCT A NEW DETACHED GARAGE WITH A BATHROOM THAT IS 1,235 SQUARE FEET IN SIZE AND ADDING A NEW 34 SQUARE FOOT BATHROOM WITHIN AN EXISTING 470 SQUARE FOOT POOL HOUSE. THE PROJECT SITE IS LOCATED AT 304 EAST FERN AVENUE (APN: 0173-061-29-0000) WITHIN HISTORIC DISTRICT NO. 5 (EAST FERN AVENUE HISTORIC AND SCENIC DISTRICT).

WHEREAS, Mark and Jill Huntsinger, has submitted an application for Certificate of Appropriateness No. 644 to demolish an existing detached shed and construct a new detached garage with a bathroom that is 1,235 square feet in size and adding a new 34 square foot bathroom within an existing 470 square foot pool house. The project site is located at 304 East Fern Avenue (APN: 0173-061-29-0000) within Historic District No. 5 (East Fern Avenue Historic and Scenic District); and

WHEREAS, notice of this Historic and Scenic Preservation Commission public hearing for the Project was duly published in the Redlands Daily Facts by the Secretary to the Historic and Scenic Preservation Commission; and

WHEREAS, on March 3, 2022, the Historic and Scenic Preservation Commission held a public hearing and considered the staff report, oral report, the testimony and the written evidence submitted by and on behalf of the applicant and by members of the public; and

WHEREAS, Public Resources Code Sections 15331 (Historical Resource Restoration/Rehabilitation) and 15303 (New Construction or Conversion of Small Structure) provide for exemption from the California Environmental Quality Act, there is no substantial evidence of any potentially significant impacts, and the project qualifies for this exemption.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC & SCENIC PRESERVATION COMMISSION OF THE CITY OF REDLANDS AS FOLLOWS:

Section 1. The proposed project is exempt from the California Environmental Quality Act per Section 15331 for Historical Resource Restoration/Rehabilitation and Section 15303 New Construction or Conversion of Small Structure, and there is no substantial evidence of any potentially significant environmental impacts.

Section 2. This Certificate of Appropriateness is hereby approved subject to the conditions of approval contained in Exhibit A attached hereto.

Section 3. This Resolution shall become effective upon adoption.

ADOPTED, SIGNED AND APPROVED this 3rd day of March, 2022.

Kurt Heidelberg, Chair
Historic & Scenic Preservation Commission

ATTEST:

Linda McCasland, Secretary

I, Linda McCasland, Historic and Scenic Preservation Commission Secretary of the City of Redlands, hereby certify that the foregoing resolution was duly adopted by the Historic and Scenic Preservation Commission at a regular meeting thereof held on the 3rd day of March, 2022, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Linda McCasland, Secretary
Historic & Scenic Preservation
Commission

**EXHIBIT A
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

**CONDITIONS OF APPROVAL FOR
CERTIFICATE OF APPROPRIATENESS NO. 644**

Historic and Scenic Preservation

Commission Date:

March 3, 2022

Applicant:

Mark and Jill Huntsinger

Location:

304 E. Fern Avenue

Conditions of Approval:

1. This approval is for Certificate of Appropriateness No. 644 to demolish an existing detached shed and construct a new detached garage with a bathroom that is 1,235 square feet in size and adding a new 34 square foot bathroom within an existing 470 square foot pool house. The project site is located at 304 East Fern Avenue (APN: 0173-061-29-0000) within Historic District No. 5 (East Fern Avenue Historic and Scenic District).
2. All plans submitted to the City as part of this Certificate of Appropriateness application shall reflect the plans approved on February 4, 2022 and shall comply with all provisions of the Redlands Municipal Code.
3. Prior to the issuance of buildings permits, review and approval of a Demolition Permit for accessory buildings less than 50 years of age is required and completion of the 10 day appeal period.
4. Unless construction has commenced pursuant to a building permit, or a time extension is granted in accordance with Code, this application shall expire in eighteen (18) months from the approval date.

Note: This project can be extended by staff per Section 2.62.200(K) for a period not to exceed thirty-six (36) months.

5. The applicant for this permit, and its successors and assigns, shall defend, indemnify and hold harmless the City of Redlands, and its elected officials, officers, agents and employees, from and against any and all claims, actions, and proceedings to attack, set aside, void or annul the approval of this permit by the City, or brought against the City due to acts or omissions in any way connected to the applicant's project that is the subject of this permit. This indemnification shall include, but not be limited to, damages, fees, costs, liabilities, and expenses incurred in such actions or proceedings, including damages for the injury to property or persons, including death of a person, and any award of attorneys' fees. In the event any such action is commenced to attack, set aside, void or annul all, or any,

provisions of this permit, or is commenced for any other reason against the City for acts or omissions relating to the applicant's project, within fourteen (14) City business days of the same, the applicant shall file with the City a performance bond or irrevocable letter of credit (together, the "Security") in a form and in an amount satisfactory to the City, to ensure applicant's performance of its defense and indemnity obligations under this condition. The failure of the applicant to provide the Security shall be deemed an express acknowledgement and agreement by the applicant that the City shall have the authority and right, without objection by the applicant, to revoke all entitlements granted for the project pursuant to this permit. The City shall have no liability to the applicant for the exercise of City's right to revoke this permit.

6. The applicant shall not make any modifications or changes during construction that are in conflict or contrary to the project's approved site design, or building elevations without first consulting with the Development Services Director or his designee.
7. All new windows on the accessory structure shall utilize a historically appropriate material, such as wood-framing.

Loralee Farris, Principal Planner
Historic Preservation Officer