



MUSEUM COMPLEX
SPECIFIC PLAN NO. 29
AMENDMENT NO. 1

A Planned Business Community
in the City of Redlands

Date: ~~May 1, 1982~~
March 1985

Prepared For:
~~Commerce-Environments~~
East Valley Partners
25201 Paseo De Alicia
Suite 101
Laguna Hills, CA 92653

Prepared By:
~~GG-Engineering~~
~~2627-South-Waterman-Avenue~~
~~San-Bernardino, CA--92408~~
~~(714)-824-2420~~

Urban Environs
300 E. State Street
Redlands, CA 92373
(714) 798-4446

NOTE: This draft amendment has been prepared consistent with the City of Redlands' Procedure for Amending Adopted Specific Plans, as follows:

1. Applicant shall submit a cover letter identifying all changes and the reason for each change in the Specific Plan.
2. A Table of Contents shall note all sections and pages in the Specific Plan text that are to be amended.
3. The existing wording of the Specific Plan text shall stay as is (with dashes running through words to be deleted), and the new wording shall be noted and underlined within the same paragraph.
4. Existing and new mapping shall be located together within the text. Existing mapping shall be noted as "Adopted (date)," and new mapping noted as "Proposed (date)."

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Note: Textual amendments to the Original Specific Plan appear as follows:

Section	Page Nos.
1	2, 3, 4, 5
2	6, 7, 8, 9, 10, 11
3	12, 14, 15, 16, 17, 19, 20, 21
4	22, 23, 24, 25

LIST OF EXHIBITS

	Adopted	Proposed
<u>Regional Location Map</u>		<u>Exhibit 1</u>
Project Boundaries	Exhibit 1	<u>Exhibit 2</u>
Illustrative Site Plan	Exhibit 2	<u>Exhibit 3</u>
Land Use Plan	Exhibit 3	<u>Exhibit 4</u>
Conceptual Landscape and Circulation .	Exhibit 4	<u>Exhibit 5</u>
Infrastructure Plan	Exhibit 5	<u>Exhibit 6</u>

PREFACE

The Museum Complex Specific Plan has been written and designed to serve as a tool for use by local decision makers, city staff, and developers as a guide for the classification and development of the project area. The plan has been prepared according to accepted planning standards and fulfills the criteria of the specific plan guidelines as set forth by the City of Redlands and the State of California. In developing this specific plan, a commitment has been made to produce a superior environment through large-scale community planning.

SECTION 1. INTRODUCTION

Project Location

The Museum Complex Specific Plan consists of approximately ~~16.48~~ 9.5 acres generally located between California Street on the west, the San Bernardino County Museum/Edward's Mansion on the east and north of the San Bernardino Freeway (Interstate 10), to Eugonia Avenue, as shown in Exhibit 1 and further defined in Exhibit 2.

The land which the project will occupy currently consists of vacant land, ~~citrus groves~~ a citrus grove, and a citrus stand. The surrounding land uses are ~~predominantly of an agricultural nature with the exception of the museum/mansion complex and the recent development of the East Valley Complex located to the east along an extension of Orange Tree Lane~~ land uses are primarily agricultural, yet are indicative of an older agricultural community in transition to urbanized land uses as evidenced by the Museum/Mansion Complex and the recent development of portions of the East Valley Complex, including the new Southern California Gas Company Division Headquarters. ~~An existing single-family residence is~~ Other surrounding land uses include a single-family residence located on the west side of California Street directly across from the subject site.

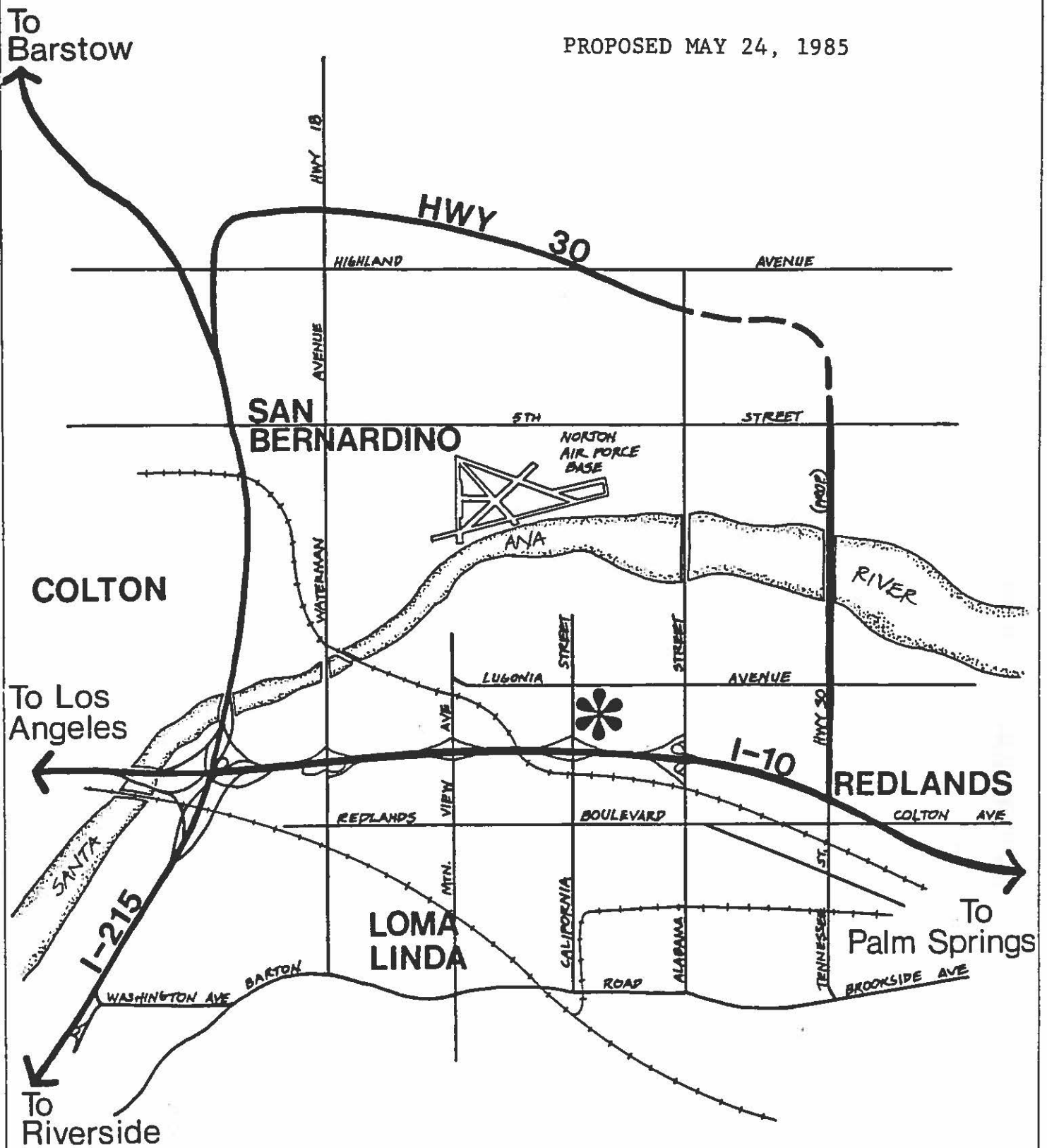
The legal description of the subject property is as follows:

~~Parcel 4 of Parcel Map 3864, and Parcels 2 and 3 of Parcel Map 7286, Parcels 1, 2, 3, 4, and 5 of Tract No. 12174 in the City of Redlands~~ as shown in the official records of the County of San Bernardino, State of California.

Purpose and Intent

The Museum Complex Specific Plan Amended No. 1 will provide for the development of the project site in conformance with the goals of objectives of the Redlands General Plan and Zoning Ordinance.

PROPOSED MAY 24, 1985



REGIONAL LOCATION MAP

EXH.

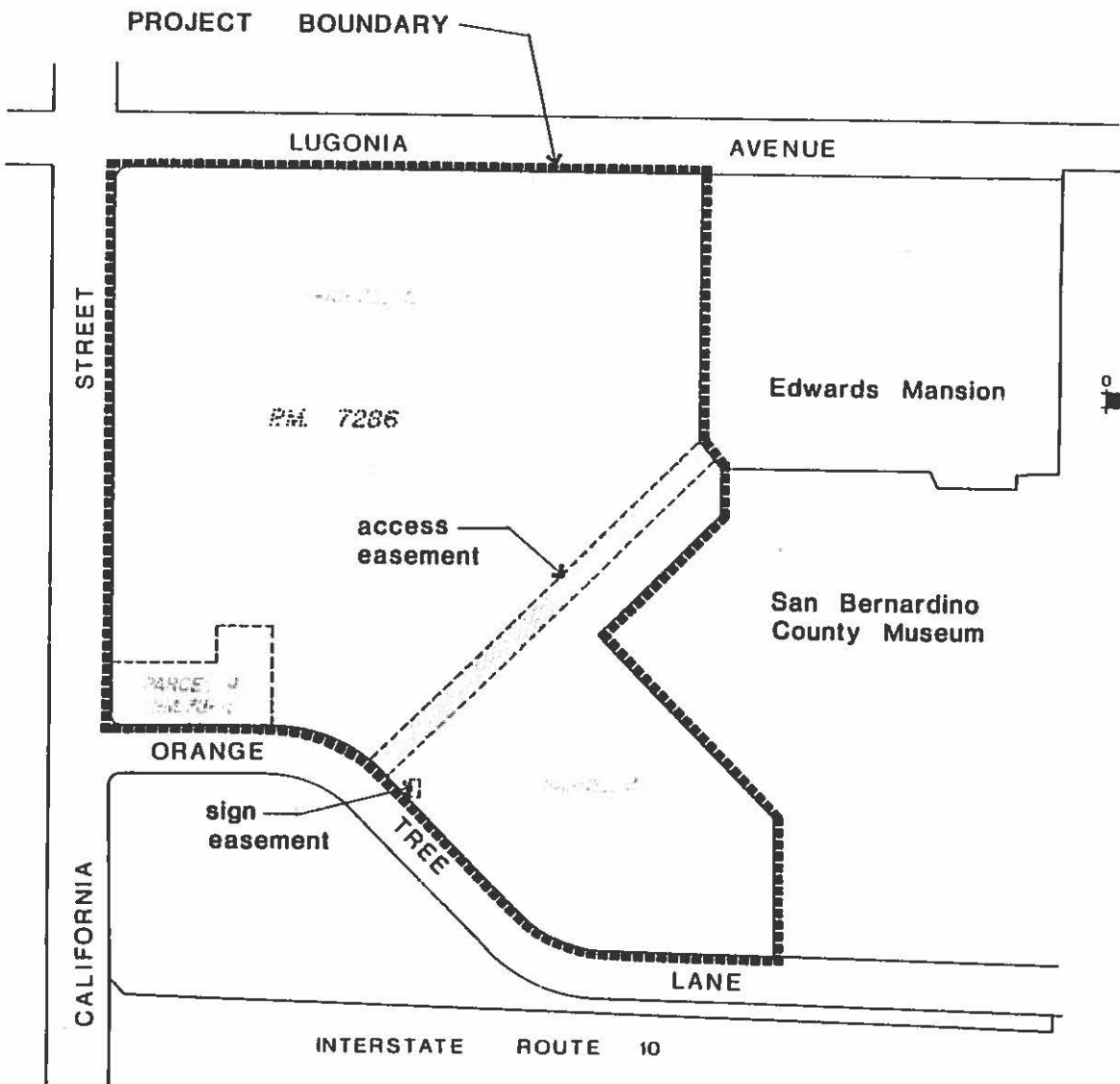
MUSEUM COMPLEX SPECIFIC PLAN

1

PROJECT BOUNDARIES

EXHIBIT 1

ADOPTED JULY 20, 1982



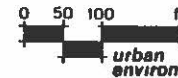
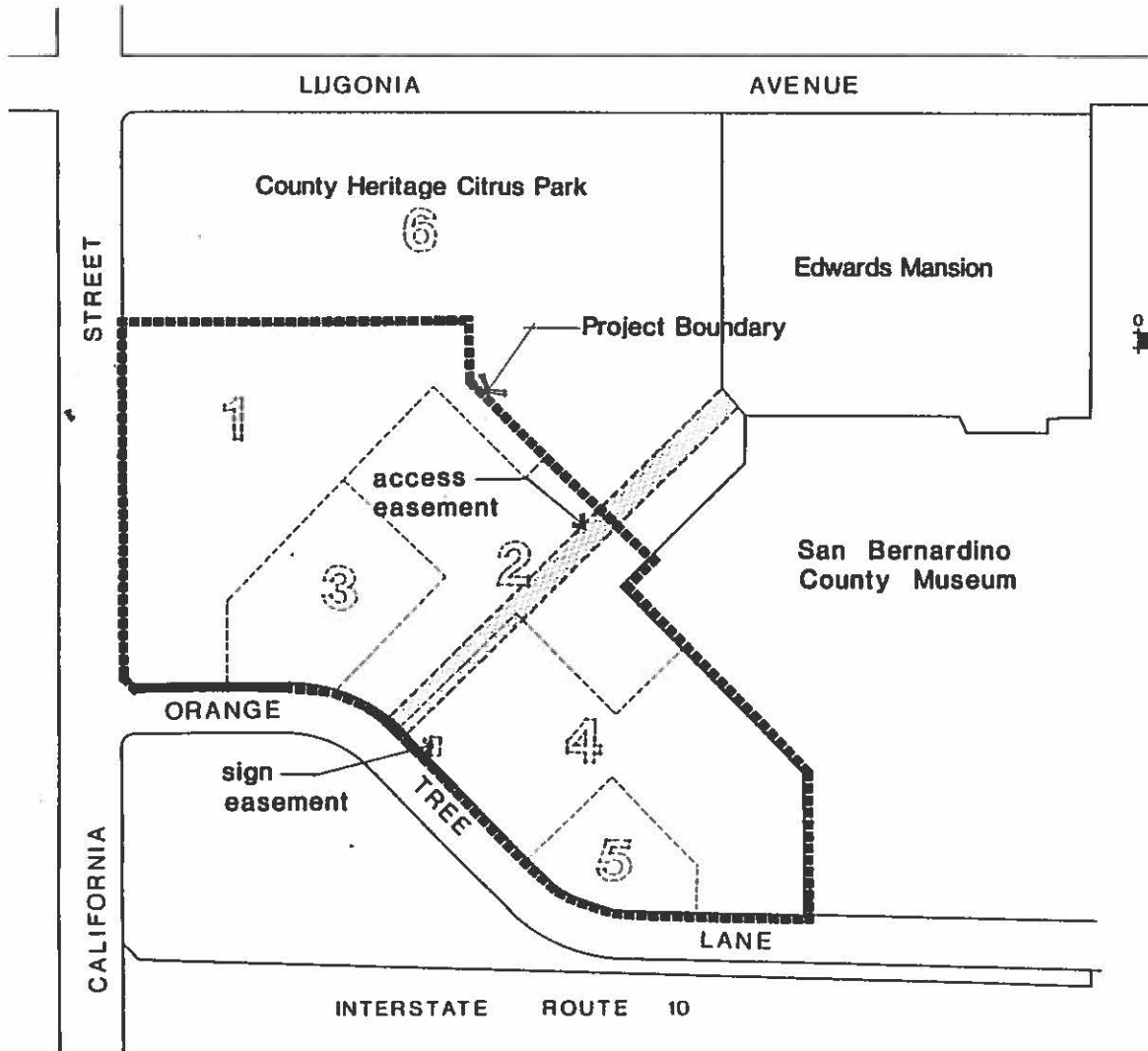
LEGAL DESCRIPTION

PARCEL 4 OF PM 3864 AS PER PLAT
RECORDED IN BOOK 35, PAGES 77 & 78,
PARCELS 2 & 3 OF PM. 7286 AS PER PLAT
RECORDED IN BOOK 70, PAGES 4 & 5 OFFICIAL
RECORDS OF SAN BERNARDINO COUNTY.

PROJECT BOUNDARIES

EXHIBIT 2

PROPOSED MAY 24, 1985



LEGAL DESCRIPTION

Parcels 1,2,3,4 and 5 of
Parcel Map 12174, M.B. 177/67-8
in the City of Redlands, County
of San Bernardino, State of
California.

The Specific Plan Regulations are intended to allow design flexibility and standards established specifically for the project site while insuring substantial compliance with the spirit, intent, and provisions of the various ordinances of the City of Redlands. The intention of the Specific Plan is to provide that individual development will occur in such a manner as to provide a park-like atmosphere compatible to the Edward's Mansion/Museum Complex where visual continuity throughout is achieved with the use of contemporary design elements in harmony with landscape design, paving and walks, street furniture, color, and graphics. Alternative development standards have been incorporated in the Specific Plan in return for development sensitivity and increased amenities to service the needs of the surrounding community.

The original Museum Complex Specific Plan No. 29 was adopted by the Redlands City Council on July 20, 1982. The intent of this amendment to Specific Plan No. 29 is to incorporate revisions into the Specific Plan that reflect market trends and project growth projections that have occurred over the past three years. In addition, the County of San Bernardino is acquiring the northerly 6.95 acres of the original project boundaries for the purpose of developing a Citrus Heritage Park, to be an integral part of the existing County Museum Complex. The revisions are discussed and presented within the appropriate components of this document. All revisions are consistent with the goals and policies of the original Specific Plan, the City of Redlands' General Plan, and will foster growth consistent with community trends.

Project Goals and Objectives

The Specific Plan has several goals and objectives for the purpose of providing a viable business development. Among these goals and objectives are:

- * To conserve the scenic qualities of the area and to provide a visually appealing corridor adjacent to Interstate 10.

- * To provide an enriched business environment with aesthetic cohesiveness, harmonious massing of structures, and the interfacing of open space through the utilization of superior land planning and architectural design.
- * The utilization of structural and landscape buffers to minimize disturbance from the nearby freeway and major arterials and to protect the existing Mansion/Museum Complex and atmosphere.
- * To provide landscape and streetscape design details that enhance the aesthetic quality of the community.
- * The creation of a strong business center enhancing the existing and planned development of the surroundings and providing an asset to the community by expanding employment opportunities and increasing the city's tax base.

An Illustrative Site Plan is presented in Exhibit 3 and is a graphic representation of the Museum Complex development outlined in the following text and maps. This is a conceptual example and is only an indication of how the development could appear upon completion.

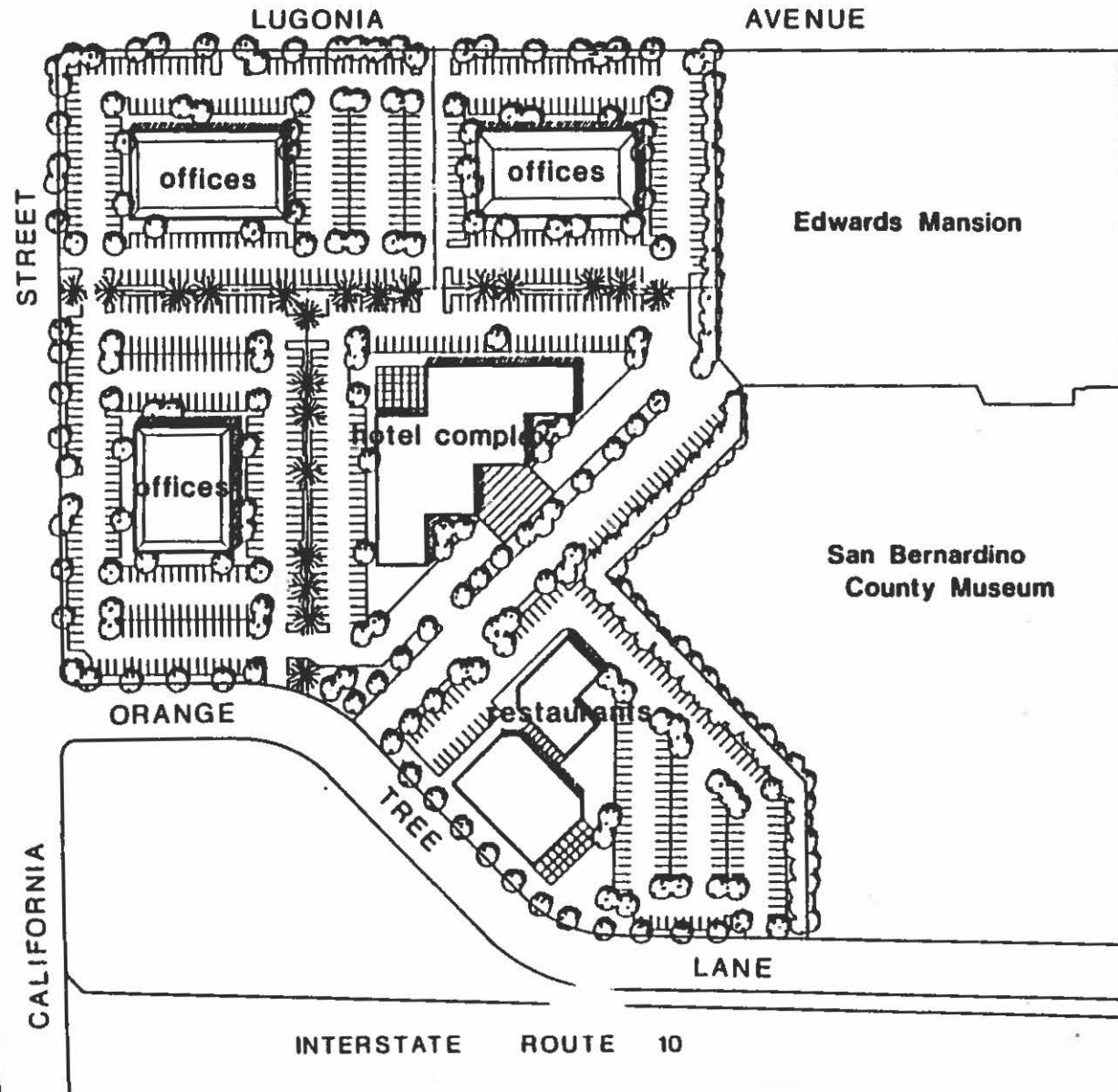
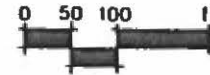
General Notes

1. Any details or issues not specifically addressed by the Specific Plan Regulations shall be subject to the regulations of the City of Redlands. Definitions of terms shall be as defined in the City of Redlands Zoning Ordinance.
2. Grading Standards: At the time of development within the Specific Plan area, a complete geological and soils engineering report indicating evidence of a safe and stable development for the improvements anticipated shall be submitted with grading plans. The recommendations by the

ILLUSTRATIVE SITE PLAN

EXHIBIT 2

ADOPTED JULY 20, 1982

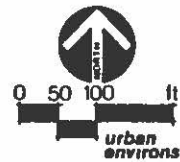


MUSEUM COMPLEX

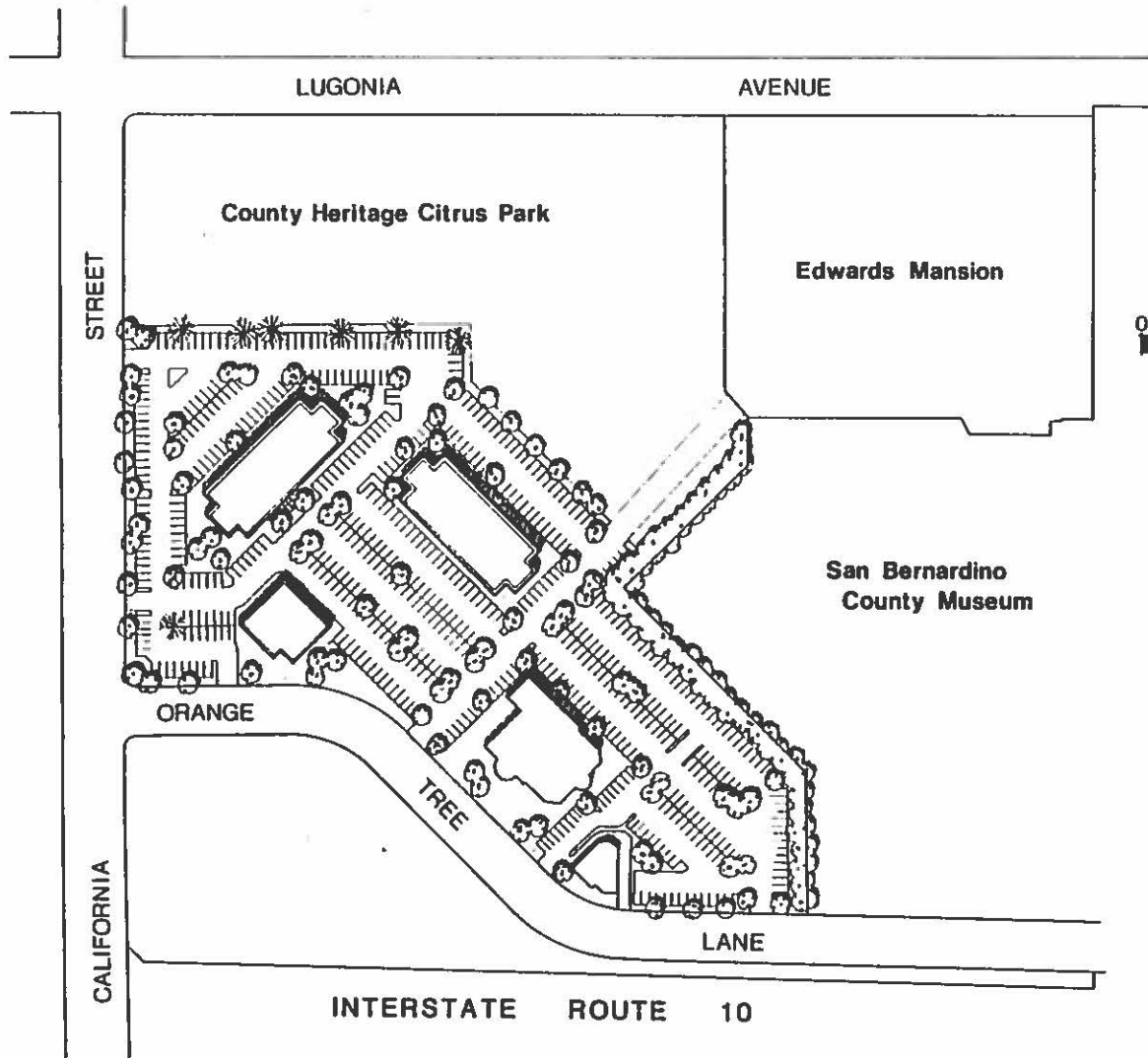
ILLUSTRATIVE SITE PLAN

EXHIBIT 3

PROPOSED MAY 24, 1985



MUSEUM COMPLEX



geologists and soils engineer shall be incorporated into the grading plan design prior to the issuance of a grading permit.

3. The City of Redlands will provide sewer and water service to the Museum Complex development.

4. Electrical power will be provided by the Southern California Edison Company based upon a user fee.

5. Solid waste disposal will be provided by the City of Redlands' Disposal Department.

6. Natural gas service will be provided by the southern California Gas Company, with monthly user fees applied.

~~7. - Sewer service will be provided on an interim basis by the City of Redlands until such time that a gravity flow system is available through the City of San Bernardino.~~

SECTION 2. MASTER PLANS

LAND USE

The Museum Complex encompasses approximately 16.48 9.5 acres accommodating the development of office and commercial uses in a business environment complemented by the Museum/Mansion Complex and the East Valley Complex directly east and adjoining the Museum Complex. Because of the nature of the existing Museum/Mansion Complex and the relationship between circulation, structures, and landscaping, a commitment has been given to enhancing the existing facilities through well thought out planning relationships.

~~The One~~ land uses ~~have~~ has been identified in the Plan, ~~Office and Hotel/Restaurant~~ office/commercial, and ~~are is~~ designed to be ~~supportive of one another while at the same time not mutually exclusive~~ provide a complementary mix of supportive uses throughout the project. Technical modifications may be made to the land use (lot line adjustments, etc.) without amendments to the Specific Plan, provided the modification is in conformance with the development standards contained in Section 3. The Land Use Plan is depicted in Exhibit ~~3~~ 4.

~~OFFICE-~~

~~A total of three (3) lots and 8.49+ acres is provided for the office land use. This land use component is intended to provide a wide range of business and professional office uses compatible to the existing park-like setting. It is anticipated that the lots will be developed primarily under a multi-tenant format, however, single tenant and condominium ownership are also permitted.~~

~~HOTEL/RESTAURANT~~

~~Approximately 7.73 acres have been provided in two (2) lots forming the Hotel/Restaurant Land Use located adjacent to the~~

~~Museum/Mansion-Complex. -- This land use is intended to provide a quality hotel and accompanying restaurant development which will help to anchor the unique business and recreational opportunities of this area. -- Although major emphasis has been given to establishing the Hotel/Restaurant Complex, ultimately market demands will predicate the development potential of this land use. Therefore, provisions have been made under the development standards to permit an expansion of the uses permitted in the office area to encroach into this area.~~

Office/Commercial

The overall 9.5+ acre project provides a total of five (5) lots for the office/commercial land use. This land use component is intended to provide a wide range of business and professional office uses combined with commercial land uses creating an atmosphere compatible with the existing park-like setting. These mutually supportive land uses will help to anchor and enrich the unique business and recreational opportunities of this area. It is anticipated that the lots will be developed primarily under a multi-tenant format; however, a single tenant and condominium ownership are also permitted.

A buffer strip has been included adjacent to the museum, and it is the intent to preserve as many orange trees as is physically possible within the buffer. The off-site improvements are planned under a single-phase format ~~estimated to begin in fall, 1982~~, the exact period of development necessarily depending upon market conditions. Thereafter, construction will occur on an individual lot basis.

LANDSCAPING AND CIRCULATION

The Conceptual Landscaping and Circulation Plan is depicted in Exhibit-4 5.

Landscaping

The Conceptual Landscape Plan establishes an important visual element for the Museum Complex and includes major entry areas of accent planting and treatment, areas of screen planting for buffer purposes, and streetscape planting.

Each of the major entry ways identified on the Plan will incorporate strong thematic statements through the use of accent plantings, dry landscape materials, and project monumentation and ~~street-furniture-graphics~~. The accent planting will include the use of colorful trees, shrubs, and flowers that will provide project identity. The project monumentation will include the use of natural materials, including stone and wood, which will blend with the accent planting treatments.

Streetscape landscaping will provide the secondary means of emphasizing the complex flavor and will occur along all portions of the development. In addition to the parkway landscaping, which will be included within the right-of-way pursuant to City of Redlands' standards, additional landscaped setbacks will be required in order to create a minimum twenty (20) foot planting strip for streetscape purposes for all streets within the complex. Such ~~trees as the American Sweet Gum, London Plane Tree (sycamore), and Eucalyptus will be utilized for streetscaping.~~ Also, incorporation of orange trees wherever possible will be strongly encouraged in order to provide a visual and historic link with the citrus culture of the area and the County's Citrus Park.

Screen Plantings will be utilized adjacent to the Edwards Mansion/ County Museum Complex in order to create a visual buffer and to serve the purpose of visual enhancement by softening the parking

areas and buildings. The use of similar plantings utilized along the streetscape is encouraged, along with the use of berming, in order to provide a more effective buffer.

Circulation

The vehicular circulation within the Museum Complex will utilize the existing street system encompassing Lugonia Avenue, California Street, and Orange Tree Lane, as well as the private drive providing access to the Edward's Mansion.

Orange Tree Lane is designated as a commercial street with a sixty-four (64) foot right-of-way and is currently fully improved within the limits of the project.

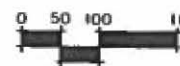
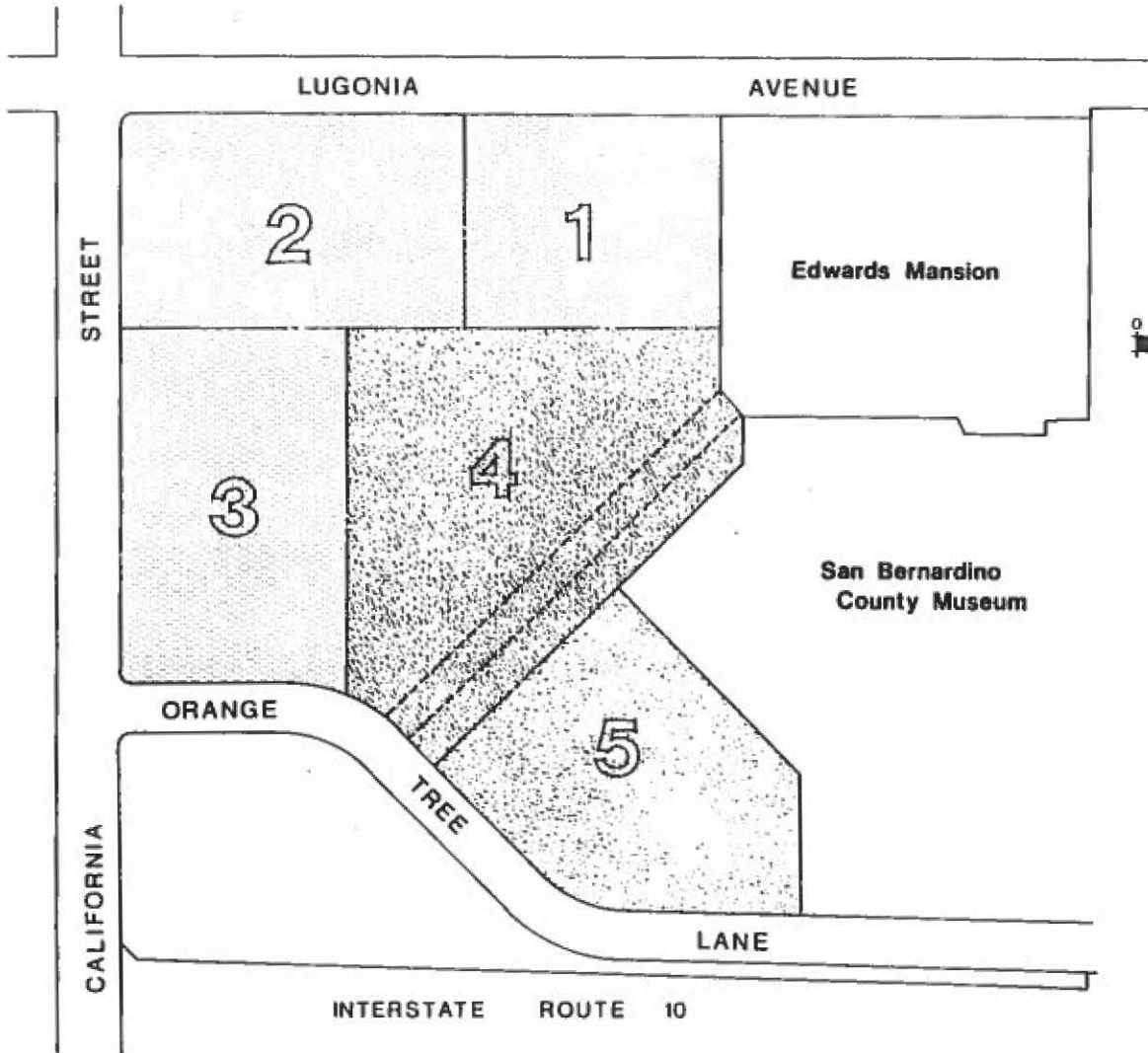
California Street is designated as a secondary highway with an eighty-eight (88) foot right-of-way containing sixty-four (64) feet of paving curb-to-curb with a twelve (12) foot parkway on either side of the roadway. California Street is currently fully dedicated within the limits of the development. ~~Lugonia Avenue is also designated as a secondary highway and will be developed with the same standards as California Street. Both Lugonia Avenue and~~ California Street will provide a five (5) foot wide meandering sidewalk and landscaping within the standard parkway.

An ingress-egress easement has been recorded providing access from Orange Tree Lane to the ~~mansion~~ Edward's Mansion. This easement will be preserved in its existing configuration.


LAND USE

EXHIBIT 3

ADOPTED JULY 20, 1982



LEGEND

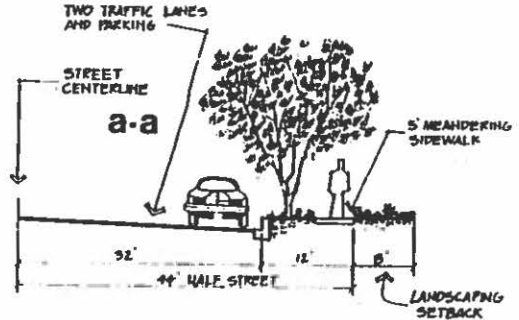
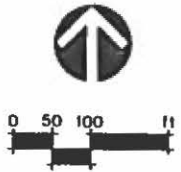
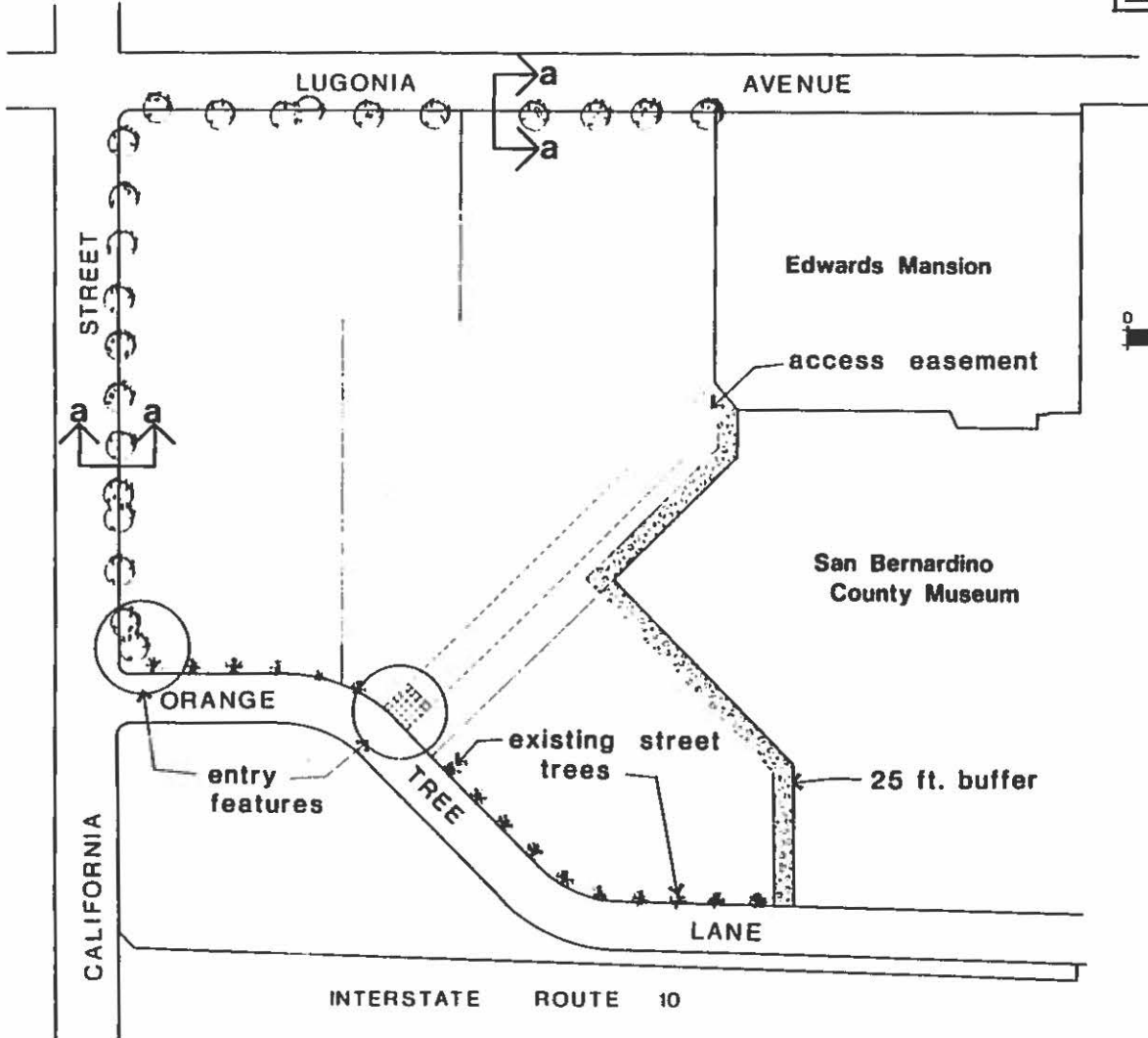
-  office - 8.49 acres
-  hotel/restaurant - 7.73 acres

MUSEUM COMPLEX

CIRCULATION AND LANDSCAPING

EXHIBIT 4

ADOPTED JULY 20, 1982

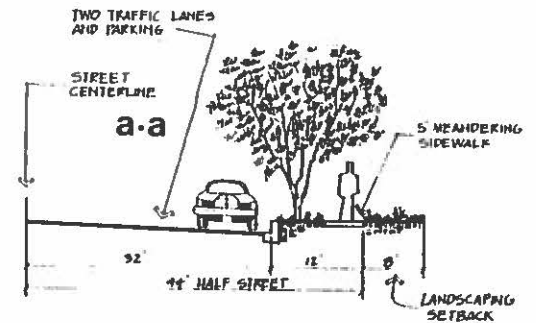
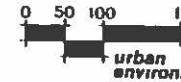
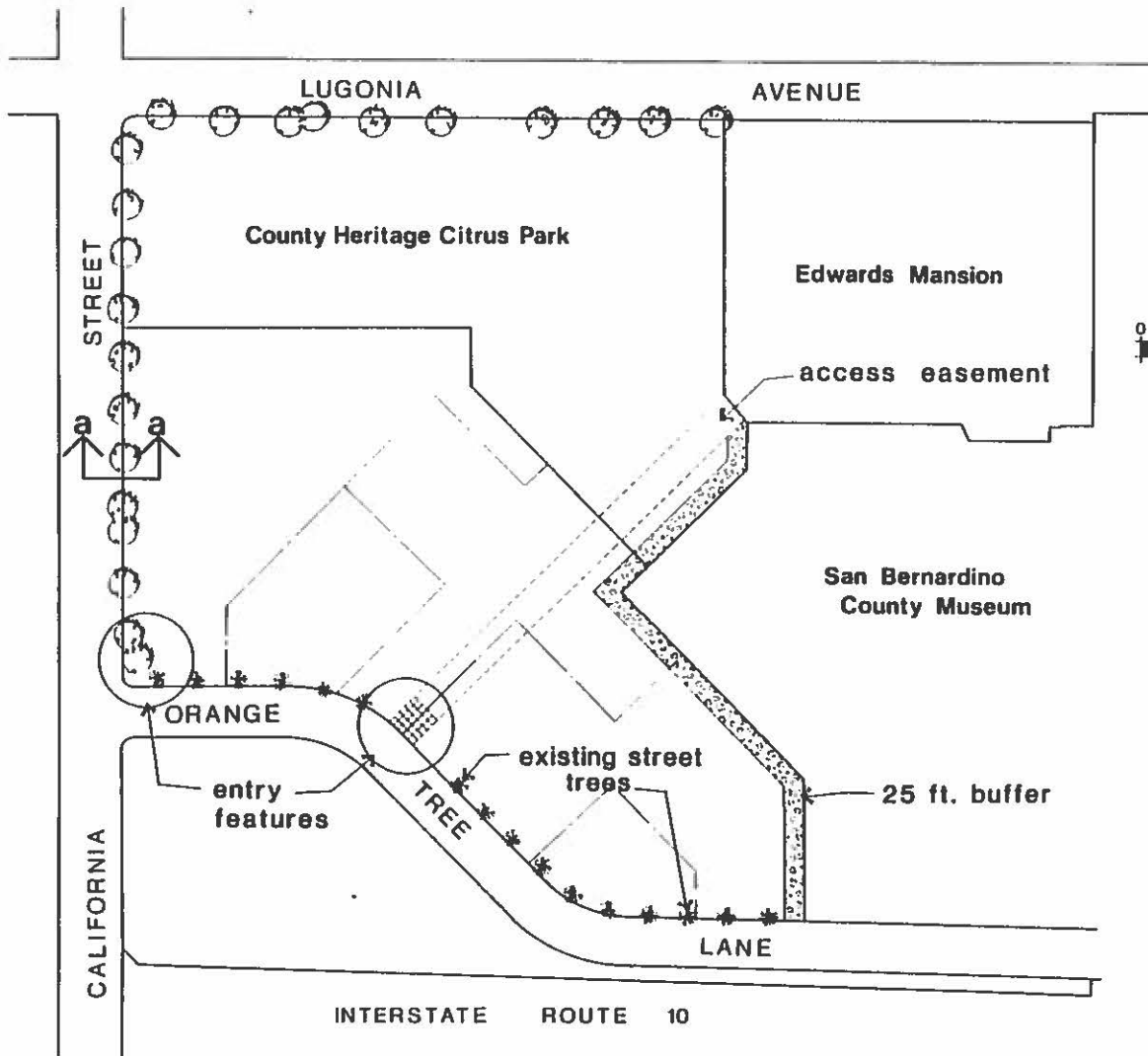


MUSEUM COMPLEX

CIRCULATION

EXHIBIT 5

PROPOSED MAY 24, 1985



MUSEUM COMPLEX

INFRASTRUCTURE

The Infrastructure Plan designates the location of sewer and water lines as well as the storm drain system. Private utility lines, including gas, electricity, and telephone, are locally available and are not shown on the Infrastructure Plan. The sewer, water, and storm drain systems will be designed and installed in accordance with plans reviewed and approved by the City of Redlands' City Engineer. The Infrastructure Plan is depicted in Exhibit 5-6.

Water System

Existing water lines include a sixteen (16) inch water main located within Lugonia Avenue, a twelve (12) inch line in California Street, and an eight (8) inch line located within Orange Tree Lane. These existing lines will be utilized to service the project site and no oversizing or supplemental pumping stations are anticipated to be required. The water system, when installed, will comply with all City of Redlands' standards.

Sewer System

The existing sewer system includes an eight (8) inch line within Orange Tree Lane and a twelve (12) inch line within California Street, which provide gravity flow to the City of San Bernardino Treatment Plant. However, the City of San Bernardino currently has an ordinance in effect prohibiting sewer service outside the corporate limits of the city until such time that program improvements are completed at the city's wastewater Treatment Plant. After the improvements are completed, additional connections outside the city limits will again be implemented. As an interim method of sewerage for the subject property, a private sewer system and lift station have been proposed to collect the project's wastewater and pump it from a location on Lugonia Avenue

eastward to the existing line within Nevada Street. This system will be maintained by a Property Owner's Association established by the Covenants, Conditions, and Restrictions of the project. ~~Following completion of the City of San Bernardino's facilities, the dry-sewer-system will be connected and the private lift system abandoned.~~

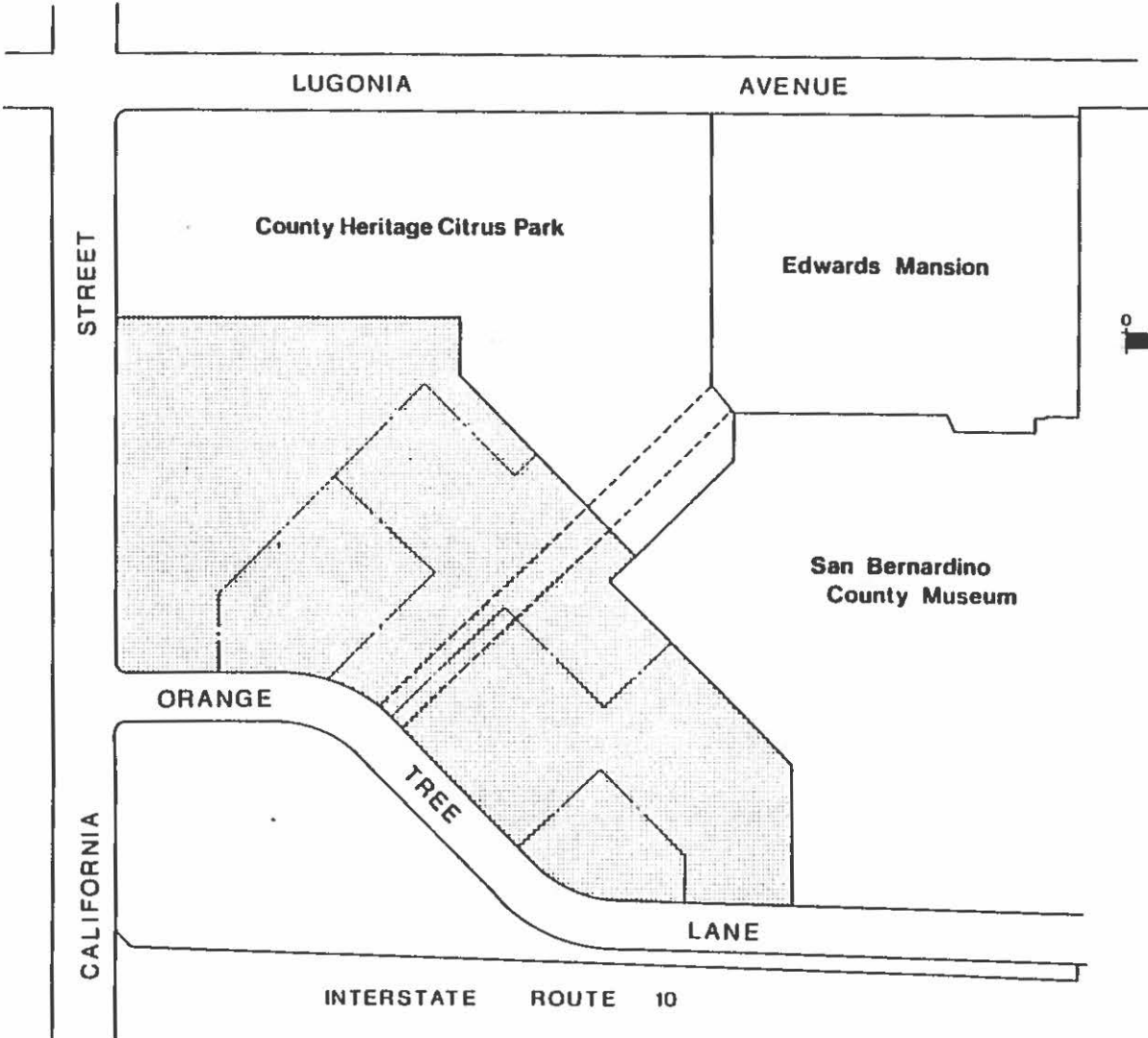
Storm Drain System

There are no existing underground storm drains within the project boundaries; however, the city's Storm Drain Master Plan does designate a 54" storm drain located within Lugonia Avenue adjacent to the project. ~~This storm drain will be installed as part of the project.~~ Storm drainage improvements and/or fees will be provided in accordance to an acceptable system reviewed and approved by the Redlands City Engineer.

LAND USE

EXHIBIT 4

PROPOSED MAY 24, 1985



LEGEND

 Office/Commercial
9.5 Acres

MUSEUM COMPLEX

SECTION 3. PROPERTY DEVELOPMENT STANDARDS

These regulations establish the development standards for the land use as identified in Exhibit 3-4. These development standards shall apply to all land and buildings within the Specific Plan project boundaries and will insure a coordinated, comprehensive project, fulfilling the stated goals and objectives of the Museum Complex Specific Plan.

A. Office/Commercial

1. Purpose and Description - The land designated for office/commercial use is intended to provide a wide range of office and business uses combined with complementary commercial uses.
2. Permitted Uses - Buildings, structures, and land shall be used for the following purposes:
 - a. Offices, including but not limited to:
 - Accounting, Auditing, and Bookkeeping Services
 - Administrative Headquarters
 - ~~Architectural and Engineering Services~~
 - Business Associations
 - Finance Companies
 - Government Offices
 - Insurance Offices
 - Law Offices and Legal Services
 - Real Estate Offices

- b. The following commercial and service uses typically compatible and supportive to office uses:

1) Commercial:

Antiques and Collectibles
Art Galleries
Bakery
Book Store
Candy Sales
China, Crystal, and Cutlery Sales
Citrus Fruit and Products
Clothing Stores
Drugs and Sundries
Furs
Gift Shops and Specialties
Jewelry
Leather and Luggage
Liquor, Wine Tasting, and Sales

2) Services:

Auto Rental
Banking, Savings, and Financial Services
Beauty and Barber Services
Interior Decorators
Motels and Hotels
Photography, Photo Finishing
Radio and Television Broadcasting Studios
Restaurants, including Drive-thru
Theaters
Travel Agencies

- c. Such other uses as may be approved by the Planning Commission as similar to those uses listed above.

3. Uses Prohibited - The following uses are expressly prohibited:
 - a. Any outdoor manufacturing or processing operation
 - b. Automobile wrecking and junk yards
 - c. Poultry and animal raising and slaughter
 - d. Residential uses

4. Development Standards
 - a. Lot Area - Each lot shall have a minimum area of twenty thousand (20,000) square feet.

 - b. Lot Dimensions - Each lot shall have a minimum width of one hundred (100) feet; each lot shall have a minimum depth of one hundred fifty (150) feet.

 - c. Building Height - No height limit except that the relationship between building floor area and lot area shall not exceed two (2) square feet of total floor area for each one (1) square foot of total lot area.

 - d. Setbacks
 - 1) Each lot shall have a front yard building setback of not less than twenty-five (25) feet with a minimum eight (8) foot landscaped setback, except that lots along Orange Tree Lane shall have a minimum twelve (12) foot landscaped setback.

 - 2) No side or rear yards are required except for lots having a sideyard adjoining a street, in which case the same requirements of the front yard setbacks shall apply.

 - 3) A twenty-five (25) foot landscaped setback shall be maintained adjacent to the San Bernardino County Museum.

- e. Lot Coverage - Lot area coverage by buildings or structures shall not exceed fifty (50) percent of the total lot area.
- f. Off-Street Parking - One (1) space for each two hundred twenty-five (225) square feet of net usable floor area for office uses. For restaurants, one (1) space for each three (3) seats or one (1) space for each fifty (50) square feet of serving area, plus one (1) space for each two (2) employees on the largest shift.

Other uses shall be as enumerated in the Redlands Zoning Ordinance.

~~B. - Hotel/Restaurant~~

- ~~1. - Purpose and Description -- The land designated for hotel/restaurant use is intended to provide for the development of a regionally oriented hotel and restaurant complex enriching the overall business and recreational opportunities of the Museum Complex and surrounding development.~~
- ~~2. - Permitted Used -- Buildings, structures, and land shall be used for the following purposes:~~
- ~~a. - Hotels and restaurants~~
- ~~b. - Any use permitted in Section "A" above~~
- ~~3. - Uses Prohibited -- These uses prohibited in "A" above are also expressly prohibited in this land use.~~
- ~~4. - Development Standards~~
- ~~a. - Lot Area -- Each lot shall have a minimum area of twenty thousand (20,000) square feet.~~
- ~~b. - Lot Dimensions -- Each lot shall have a minimum width of one hundred (100) feet, each lot shall have a minimum depth of one hundred fifty (150) feet.~~

~~c. - Building Height — No height limit except that the relationship between building floor area and lot area shall not exceed two (2) square feet of total floor area for each one (1) square foot of total lot area.~~

~~d. - Setbacks~~

- ~~1) - A twenty-five (25) foot landscaped setback shall be maintained adjacent to the San Bernardino County Museum.~~
- ~~2) - Each lot shall have a front yard setback along Orange Tree Lane of not less than twenty-five (25) feet with a minimum twelve (12) foot landscaped setback maintained.~~
- ~~3) - No side or rear yard setbacks shall be required.~~

~~e. - Lot Coverage — Lot area coverage by buildings or structures shall not exceed fifty (50) percent of the total lot area.~~

~~f. - Off-Street Parking~~

- ~~1) - Hotels — One (1) space for each living or sleeping unit plus one (1) space for each two (2) employees on the largest shift.~~
- ~~2) - Restaurants — One (1) space for each three (3) seats or one (1) space for each fifty (50) square feet of serving area, plus one (1) space for each two (2) employees on the largest shift.~~
- ~~3) - Office — As enumerated in Section "A" above.~~

C. General Provisions

1. Off-Street Parking - Property development standards for off-street parking shall be as enumerated in Section 40.30 of the City of Redlands Zoning Ordinance.
2. Off-Street Loading - Requirements for off-street loading shall be as enumerated in Section 41.00 of the City of Redlands Zoning Ordinance. specific consideration shall be given to orientation of loading spaces away from public view from the San Bernardino Freeway (Interstate 10) and adjacent street rights-of-way.

Street-side loading will be allowed providing the loading dock is set back a minimum of seventy (70) feet from the street right-of-way line. Said loading areas will be screened from the view of adjacent streets and access shall be provided without the necessity of vehicle maneuvers from frontage streets.

3. Screening - All exterior storage areas, service yards, electrical cage enclosures, and storage tanks shall be screened from public view by means of fences or walls ~~which~~ that harmonize with the building design. In addition, all roof-mounted mechanical equipment, including but not limited to antennas, vents, and ductwork, shall be concealed by the building design. In the case where mechanical equipment projects above the building mass and is visible from an elevated portion of the freeway, an enclosure shall be designed to house the equipment that is compatible with the architectural design of the building. Specific attention shall be given to orienting all outdoor storage areas away from freeway visibility and orientation.
4. Exterior Lighting - Parking lot lighting fixtures shall be an overall maximum height of ~~sixteen (16)~~ ^{TWENTY-FIVE (25)} feet. Walkway lighting fixtures shall have an overall maximum of twelve (12) feet.

Security lighting fixtures shall not project above the fascia or roof line of the building, and should be so designed so as to reflect away from adjoining properties and streets.

Security lighting fixtures are not to be substituted for parking lot or walkway lighting fixtures and are restricted to lighting only loading, storage locations, or similar service areas.

5. Landscaping - Landscaping shall consist of an effective combination of street trees, ground cover, and shrubbery, and may include dry landscape cover not to exceed twenty (20) percent of the total landscaped area. The selected combination of objects for landscaping purposes shall be arranged in a harmonious manner. Required landscape areas, including setbacks and buffers, shall be maintained in a neat, clean, orderly, and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants when necessary, and the regular watering of all plantings. Required landscaped areas shall be provided with a suitable permanent method for watering or sprinkling of plants. The irrigation system shall be designed to insure a sufficient amount of water for plants within the landscaped areas, and shall be kept in good working condition at all times.

Where landscaping is required, a landscape plan shall be submitted to the Redlands Planning Department pursuant to the provisions enumerated in Section 43.37 of the Redlands Zoning Ordinance.

6. Fences and Walls - Fences and walls not to exceed six (6) feet in height shall be permitted along side and rear property lines, except that no fence or wall exceeding three (3) feet in height shall be located within any required setback area that parallels a street right-of-way. All fences and walls shall be designed and utilize materials of construction in order to be architecturally compatible with the building

design. Walls and fences of sheet or corrugated iron, steel, aluminum, chain link, or asbestos are specifically prohibited.

7. Refuse Collection Area - All trash, refuse, and used merchandise shall be stored in an enclosure constructed by a solid wall or fence compatible with the architecture of the building. Said area shall be located in the rear portion of the lot and specifically not permitted between a frontage street and a building line, nor adjacent to freeway exposure.

8. Signs - All signs located in the Museum Complex shall relate to the character and architectural style of the structure upon which it is placed. A minimum number of signs is encouraged in order to avoid clutter and to obtain a coordinated and harmonious relationship between all signs within the complex. The following regulations shall apply.
 - a. Wall Signs - Identification signs placed on a wall shall not exceed ~~one~~ one and one-half (1 1/2) square feet ~~feet~~ in area for each one (1) foot of lineal frontage of the building or structure it identifies, not to exceed one hundred and twenty (120) square feet. Separate calculations may be made for the front, side, or rear of the building and a separate sign may be permitted on each of these frontages, provided, however, that the sign may only be permitted on the side of a building that is located adjacent to a public right-of-way.
 - 1) All signs attached to a building shall be surface mounted only.
 - 2) The area of wall signs shall be calculated by a rectangle around the outside of the lettering.
 - 3) In multi-tenancy offices, each individual business may have a wall sign over the entrance to identify the tenant. Said sign shall give only the name of the

tenant and shall be limited to a maximum of seven and one-half (7 1/2) square feet in area and a maximum fifteen (15) inch high letters. If more than one tenant utilizes an entrance, a directory type sign shall be utilized limited to one (1) square foot of sign for each business up to a maximum gross area of twenty (20) square feet.

b. Ground Signs - Ground signs (monument signs) may be permitted subject to the following:

- 1) Ground signs shall not exceed sixty (60) inches above the grade in height.
- 2) Ground signs shall not exceed fifty (50) square feet in area.
- 3) Ground signs shall not extend over public property and ground signs in a corner cut-off area shall not exceed three (3) feet above the adjacent curb top.
- 4) Only one (1) ground sign shall be permitted for each entity, and no two ground signs on different lots shall be located closer than forty (40) feet to each other.
- 5) Ground signs shall be permitted for single-tenant buildings and for identification of a single complex containing multiple tenants so long as no individual tenant identification is contained.

c. Temporary Signs - The following temporary identification signs shall be permitted:

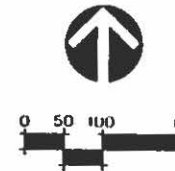
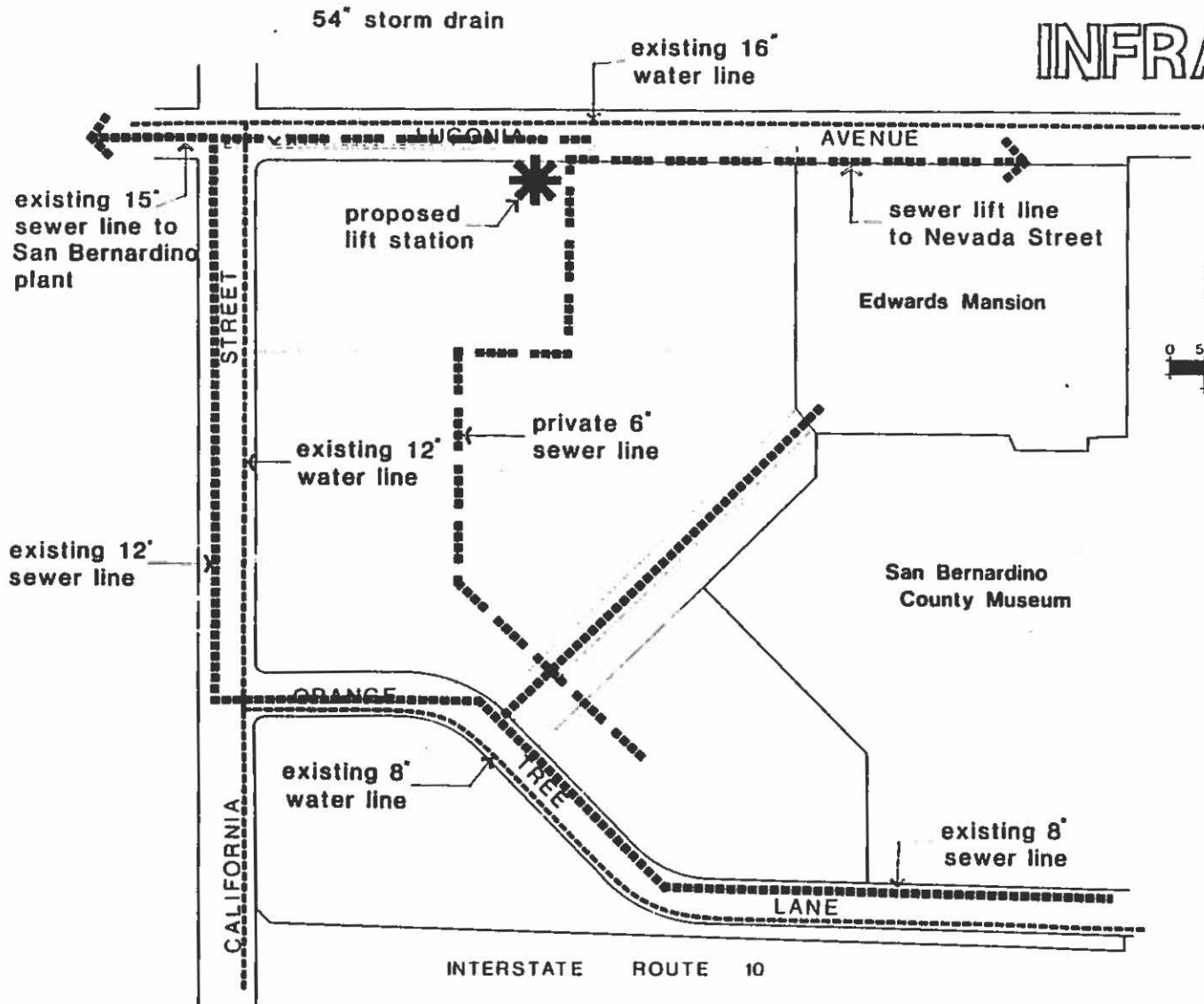
- 1) A sign advertising the sale, lease, or hire of a site or building.

- 2) A construction sign denoting the architects, engineers, contractor, and other related subjects. Said sign shall be removed at the time the building is fit for occupancy and shall be approved by the Architectural Committee prior to installation.
 - 3) A sign indicating the name of the future tenant.
- d. General - The following general standards shall apply to all signs located in the Museum Complex:
- 1) Signs shall be restricted to advertising only the person, firm, company, or corporation operating the use conducted on the site or the products sold therein.
 - 2) No roof-mounted signs shall be permitted; in addition, no wall-mounted signs shall project above the roof line.
 - 3) Signs visible from the exterior of any building may be lighted, but no signs or any other contrivance shall be devised or constructed so as to rotate, gyrate, blink, flash, exert smoke or fumes, or move in any fashion.
 - 4) No signs shall be erected until approval has been granted pursuant to Section 84505 of the City of Redlands Sign Ordinance.
 - 5) The existing Edward's Mansion free-standing sign is herein recognized as a legal non-conforming use. The sign is compatible with the Redlands Sign Ordinance.

INFRASTRUCTURE

EXHIBIT 5

ADOPTED JULY 20, 1982



LEGEND

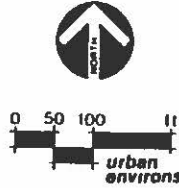
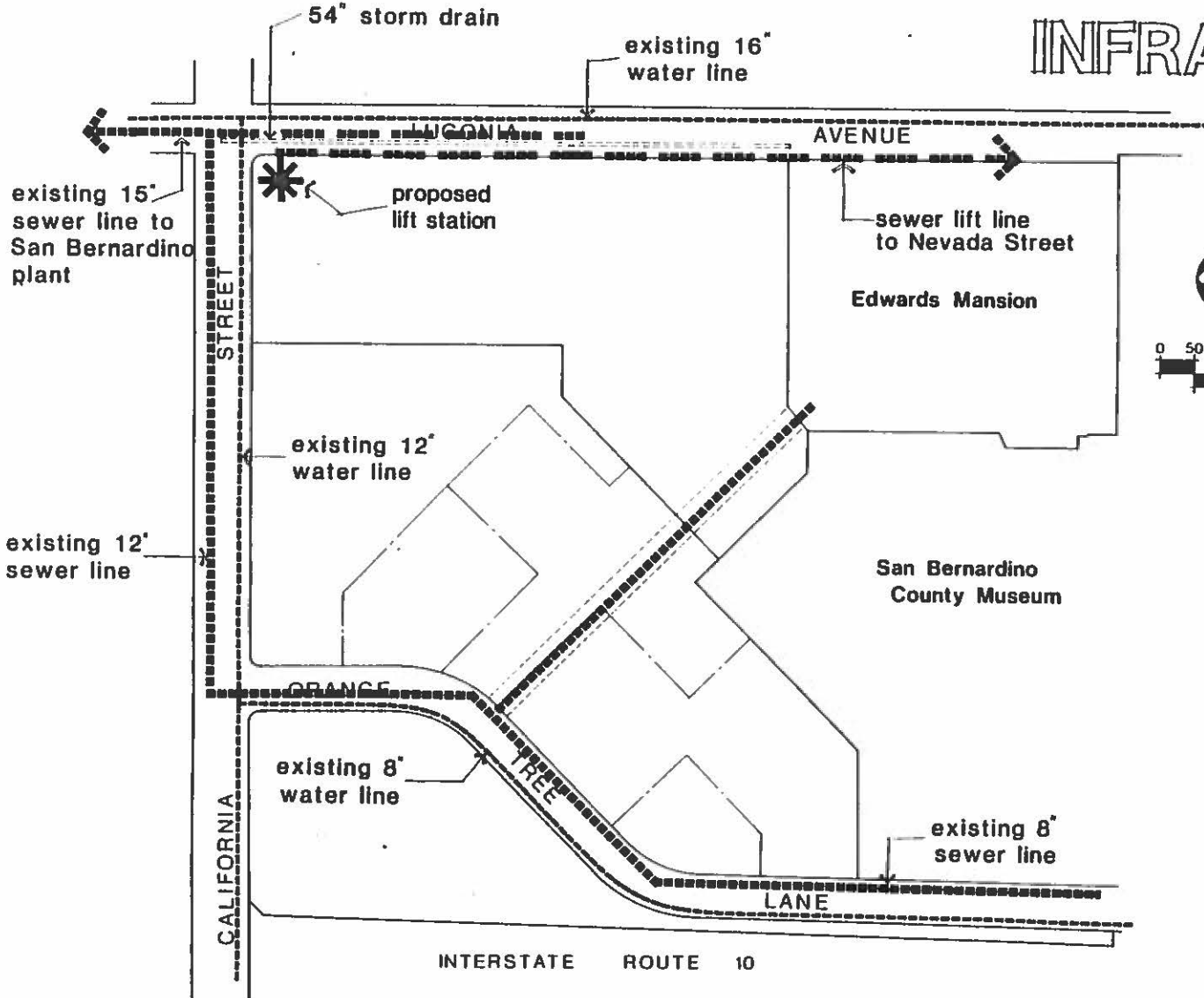
- water**
 - proposed storm drain
 - existing water line
- sewer**
 - proposed
 - existing

MUSEUM COMPLEX

INFRASTRUCTURE

EXHIBIT 6

PROPOSED MAY 24, 1985



LEGEND

- water**
 - proposed storm drain
 - existing water line
- sewer**
 - proposed
 - existing

MUSEUM COMPLEX

SECTION 4. PROCEDURAL IMPLEMENTATION

A. Site Plan Review

The purpose and intent of Site Plan Review is to assure ~~insure~~ that development occurs in conformance with the Museum Complex Specific Plan ~~development standards through the submittal of required information describing the proposed development.~~ - All development within the specific plan area shall be subject to the provisions of The procedures are outlined in Section 32.20 of the City of Redlands Zoning Ordinance. ~~as outlined below.~~

1. - Application -

a. - ~~A signed application and payment of a fee as established by the Redlands City Council shall be submitted to the Planning Department accompanied by 15 copies of the site development plan and architectural elevations.~~

b. - ~~The site plan shall be prepared to scale showing accurately, and with complete dimensioning, all buildings and facilities proposed for the parcel. The data contained on said plan shall include information on all buildings, structures, signs, parking, landscaping, walls or fences, and the points of ingress and egress. In addition, all necessary information to clearly define the intended use of the property and its relationship to adjacent properties shall be included.~~

2. - Requirements -

a. - ~~Dedications and/or easements for streets, alleys, drainage, public utilities, flood control, and such other rights-of-way as may be determined essential to the orderly development of the site and abutting~~

properties.

b. - Improvements including grading, drainage and drainage structures, street improvements, domestic water service, sanitary sewer facilities and connections, services for public utilities, and such additional improvements and facilities as determined necessary for the proper development of the site and area.

3. - Planning Commission Findings and Conditions

The Planning Commission, in granting approval, shall find as follows:-----

a. - That the site for the intended use is adequate in size and shape to accommodate said use and all of the required yards, setbacks, walls or fences, landscaping and other features will adjust said use to those existing or permitted uses of land in the neighborhood.

b. - That the site for the proposed use relates to streets and highways which are properly designed and improved to carry the type and quantity of traffic generated or to be generated by the proposed use.

c. - That the conditions set forth in the approval and those shown on the approved site plan are deemed necessary to protect the public health, safety, and general welfare. - Such conditions may include:

- 1) - Special yards, spaces and buffers -
- 2) - Fences and walls
- 3) - Surfacing of parking areas subject to City specifications
- 4) - Regulation of points of vehicular ingress and egress -

6.--Revisions

~~Revisions to an approved application shall be made pursuant to the procedure set forth in the initial application.~~

7.--Time-Limit

~~Unless otherwise specified in the approval by the Planning Commission, the initial time limit for start of development shall be one (1) year. Failure to start development within the approved time limit shall require a new application.~~

B. Subdivision Maps

All tentative subdivision maps and final maps shall follow the standard subdivision procedures as outlined in the State Map Act and by Local Ordinance No. 1562.

C. Amendment to the Specific Plan

An amendment to the adopted Museum Complex Specific Plan shall follow the procedures as outlined in California Government Code Section 65500 and the procedures of the City of Redlands.

The Complex Sign Program
A Supplement to Specific Plan No. 25
And Specific Plan No. 29

July 11, 1985 Revised 10/3/05

Prepared for:

East Valley Partners
25201 Paseo De Alicia, Suite 101
Luguna Hills, CA 92653

Prepared by:

Urban Environs
133 E. Vine Street
Redlands, CA 923743
(909) 798-4446

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B. Temporary Sale/Leasing Sign.....	16
C. Temporary Building Leasing Sign.....	18
D. Entrance I.D. Pylon Signs.....	20

Exhibits

- Exhibit 1** Directional Signs
- Exhibit 2** Directional Sign Location
- Exhibit 3** Temporary Sale/Leasing Signs
- Exhibit 4** Temporary Building Leasing Sign
- Exhibit 5** I.D. Pylon Signs
- Exhibit 6** I.D. Pylon Sign Locations

Preface

The Complex Sign Program is an amendment to Specific Plan No. 25 and Specific Plan No. 29, and will serve to supplement the sign development standards adopted within each Specific Plan. The program is written and designed to serve as a tool for use by local decision makers, city staff, and developers for the classification and review of various signage within the project area. The Complex sign program has been prepared according to accepted planning standards and fulfills the criteria of the Specific Plan Guidelines as set forth by the City of Redlands and the State of California. In developing the amendment, a continued commitment has been made to produce a superior environment through large-scale community planning as established in the adopted Specific Plan.

Section I. Existing Sign Provisions

The following provisions are the currently adopted sign standards for Specific Plan No. 25 and Specific Plan No. 29, which together encompass The Complex. This information is provided for reference in reviewing the supplemental master sign program for The Complex.

A. Specific Plan No. 25

Section 3.C

8. Signs – It is intended that all signs located in the East Valley Complex shall relate to the character and architectural style of the structure upon which it is placed. A minimum number of signs are encouraged in order to avoid clutter and to obtain a coordinated and harmonious relationship between all signs within the complex. The following regulations shall apply:
 - a. Wall Signs - Identification signs placed on a wall shall not exceed one (1) square foot of sign area for each one (1) foot of building frontage up to 120 square feet and $\frac{1}{2}$ square feet for each lineal foot over 120 feet. No individual sign shall exceed one hundred and twenty (120) square feet unless a Sign Conditional Use Permit is obtained. Separate calculations may be made for the front, sides, or rear of a building as long as each of these frontages is adjacent to a public right-of-way or vehicle and pedestrian circulation area. Sign area may be aggregated and applied to any single or multiple frontage but total sign square footage may not exceed total building linear frontage. A maximum of two signs per frontage shall be allowed.
 1. All signs attached to a building shall be surface mounted only.
 2. The area of wall signs shall be calculated by using standard formulas for regular geometric figures or, for signs whose shape is irregular, by enclosing the sign elements within up to eight straight, intersecting lines.
 3. Single story multi-tenancy office/industrial developments or strip centers with separate entrances from outside of the building shall be allowed to calculate signage for each individual suite or space based on a ratio of one square foot of sign area for each lineal foot of building frontage (1:1). Multiple-story multi-tenancy office/industrial developments with bottom floor tenants having separate outside entrances, these

tenants may have a wall sign over the entrance to identify the tenant but said sign shall give only the name of the tenant and shall be limited to a maximum of seven and one-half (7 ½) square feet in area and a maximum of fifteen (15) inch high letters. The building may still have main identification signs as indicated in Section A.

Multiple-story multi-tenancy office/industrial developments with a single entrance for all tenants shall be allowed main identification signs as indicated in Section A. Minor tenants within a multi-tenant office/industrial development utilizing a single entrance shall be limited to a directory type sign which limits each business to a one (1) square foot sign for each business up to a maximum gross area of twenty (20) square feet.

Sign programs may be prepared for any office/industrial complex to identify specific sign criteria for each tenant within a building for which the sign program was adopted. Sign programs may identify sign locations, allowable sign types, letter sizes and any other criteria for which the building owner or developer wants enumerated. Sign programs shall require Planning Commission approval and shall be no less restrictive than what is contained within this Specific Plan or the City's Sign Code.

4. In multi-tenancy office/industrial areas, each individual business may have a wall sign over the entrance to identify the tenant. Said sign shall give only the name of the tenant and shall be limited to a maximum of seven and one-half (7-1/2) square feet in area and a maximum fifteen (15) inch high letters. If more than one tenant utilizes an entrance, a directory type sign shall be utilized limited to one (1) square foot of sign for each business up to a maximum gross area of twenty (20) square feet.
- b. Ground Signs – Ground signs (monument signs) may be permitted subject to the following:
 1. Ground signs shall not exceed sixty (60) inches above grade in height.
 2. Ground signs shall not exceed fifty (50) square feet in area.
 3. Ground signs shall not extend over public property and ground signs in a corner cut-off area shall not exceed three (3) feet above the adjacent curb top.
 4. Only one (1) ground sign shall be permitted for each entity, and no two ground signs on different lots shall be located closer than forty (40) feet to each other.

5. No ground signs, monument signs, or pole signs shall be permitted adjacent to Interstate 10 (San Bernardino Freeway).
 6. Ground signs shall be permitted for single-tenant buildings and for identification of a single complex containing multiple tenants so long as no individual tenant identification is contained.
- c. Temporary Signs – the following temporary identification signs shall be permitted:
1. A sign advertising the sale, lease, or hire of a site or building.
 2. A construction sign denoting the architects, engineers, contractor, and other related subjects. Said sign shall be removed at the time the building is fit for occupancy and shall be approved by the Architectural Committee prior to installation.
 3. A sign indicating the name of the future tenant.
- d. General – The following general standards shall apply to all signs located in the East Valley Complex:
1. Signs shall be restricted to advertising only the person, firm, company, or corporation operating the use conducted on the site or the products sold therein.
 2. No roof-mounted signs shall be permitted; in addition, no wall-mounted signs shall project above the roofline.
 3. Signs visible from the exterior of any building may be lighted, but no signs or any other contrivance shall be devised or constructed so as to rotate, gyrate, blink, flash, exert smoke or fumes, or move in any fashion.
 4. No signs shall be erected until approval has been granted pursuant to Section 84505 of the City of Redlands sign ordinance.

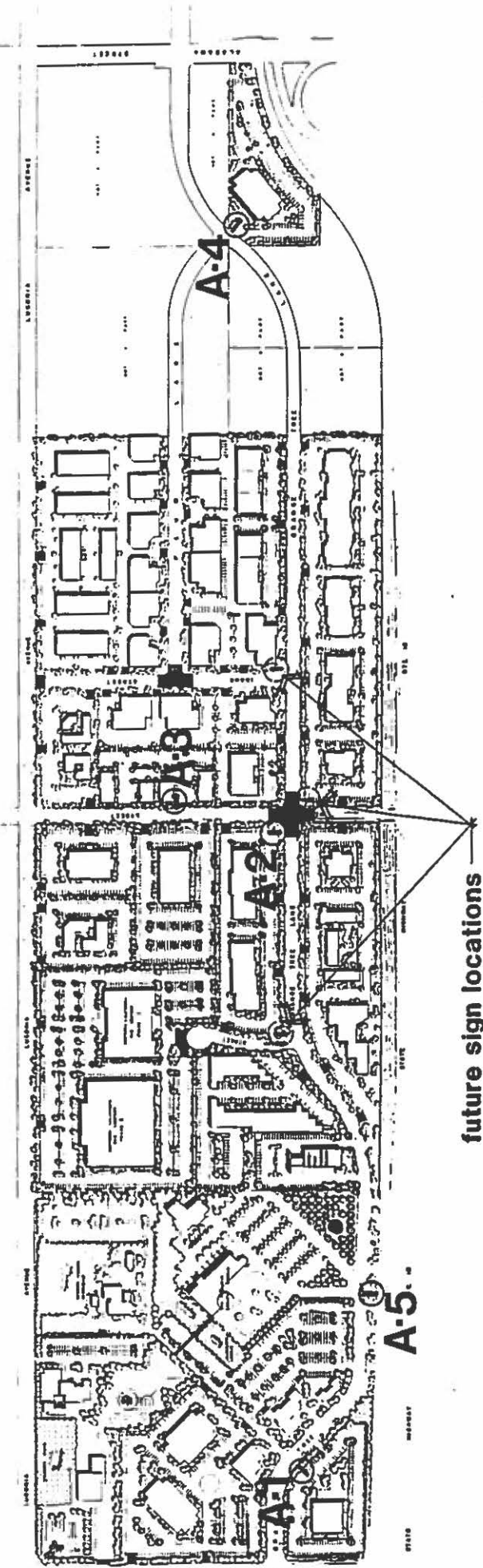
B. Specific Plan No. 29

Section 3.C

- 8. Signs – All signs located in the Museum Complex shall relate to the character and architectural style of the structure upon which it is placed. A minimum number of signs is encouraged in order to avoid clutter and to obtain a coordinated and harmonious relationship between all signs within the complex. The following regulations shall apply.**
 - a. Wall Signs – Identification signs placed on a wall shall not exceed one and one-half (1-1/2) square feet in area for each one (1) foot of lineal frontage of the building or structure it identifies, not to exceed one hundred and twenty (120) square feet. Separate calculations may be made for the front, side, or rear of the building and a separate sign may be permitted on each of these frontages, provided, however, that the sign may only be permitted on the side of a building that is located adjacent to a public right-of-way.**
 - 1. All signs attached to a building shall be surface mounted only.**
 - 2. The area of wall signs shall be calculated by a rectangle around the outside of the lettering.**
 - 3. In multi-tenancy offices, each individual business may have a wall sign over the entrance to identify the tenant. Said sign shall give only the name of the tenant and shall be limited to a maximum of seven and one-half (7-1/2) square feet in area and a maximum fifteen (15) inch high letters. If more than one tenant utilizes an entrance, a directory type sign shall be utilized limited to one (1) square foot of sign for each business up to a maximum gross area of twenty (20) square feet.**
 - b. Ground Signs – Ground signs (monument signs) may be permitted subject to the following:**

1. Ground signs shall not exceed sixty (60) inches above the grade in height.
 2. Ground signs shall not exceed fifty (50) square feet in area.
 3. Ground signs shall not extend over public property and ground signs in a corner cut-off area shall not exceed three (3) feet above the adjacent curb top.
 4. Only one (1) ground sign shall be permitted for each entity, and no two ground signs on different lots shall be located closer than (40) feet to each other.
 5. Ground signs shall be permitted for single-tenant buildings and for identification of a single complex containing multiple tenants so long as no individual tenant identification is contained.
- c. Temporary Signs – The following temporary identification signs shall be permitted:
1. A sign advertising the sale, lease, or hire of a site or building.
 2. A construction sign denoting the architects, engineers, contractor and other related subjects. Said sign shall be removed at the time the building is fit for occupancy and shall be approved by the Architectural Committee prior to installation.
 3. A sign indicating the name of the future tenant.
- d. General – the following general standards shall apply to all signs located in the Museum Complex:
1. Signs shall be restricted to advertising only the person, firm, company, or corporation operating the use conducted on the site or the products sold therein.
 2. No roof-mounted signs shall be permitted; in addition no wall-mounted signs shall project above the roof line.
 3. Signs visible from the exterior of any building may be lighted, but no signs or any other contrivance shall be devised or constructed so as to rotate, gyrate, blink, flash, exert smoke or fumes, or move in any fashion.
 4. No signs shall be erected until approval has been granted pursuant to Section 84505 of the City of Redlands Sign Ordinance.
 5. The existing Edward's Mansion free-standing sign is herein recognized as a legal non-conforming use. The sign is compatible with the Redlands Sign Ordinance.

ILLUSTRATIVE
SITE PLAN



future sign locations

EXHIBIT 2
DIRECTIONAL SIGN LOCATION

Section II. Supplemental Sign Program

The supplemental sign program provides for the placement and maintenance of specific signs within the adopted Specific Plans No. 25 and 29. The following signs shall be permitted as discussed herein:

- A. Directional Sign
- B. Temporary Sale/Leasing Sign
- C. Temporary Building Leasing Sign
- D. Entrance I.D. Pylon

The master sign development standards contained herein has been established to apply to the subject signs and is presented with a discussion of their relationship to existing city standards. The Complex sign programs will provide for a unique system of identification within the project area consistent with the goals and objectives of the Redlands Sign code. Details not specifically addressed by this amendment shall be subject to the Redlands Sign Ordinance. It is the objective of this sign program to present a unified sign format throughout The Complex.

- A. Directional Sign – Directional signs are intended to identify major uses and areas within the overall complex, and will serve to provide a necessary link between various portions of The Complex. Directional signs are permanent and are depicted in Exhibit 1.

Relationship to the Redlands Sign Ordinance – Directional signs are permitted within the Redlands Sign Ordinance for the purpose of indicating the location of any object, place, or area. Dimensional standards are limited to two (2) square feet per instruction. However, these signs have historically been for small-scale uses such as drive-thru entrance and exit signs at fast-food restaurants. Due to the large-scale nature of The Complex, these signs will take the directional sign concept a step further by providing for larger, more visible, project-oriented signs.

1. Standards

- a. The overall sign area will be twenty-four (24) square feet, with a vertical dimension of three (3) feet and a horizontal dimension of eight (8) feet.
- b. Colors:
 - Background - Majesty
 - Lettering – Grey
 - Logo – White
- c. The following locations and directional script shall be permitted for directional signs as depicted in Exhibit 2, including locations for future signs.

Side One

A-1 Edwards Mansion
Restaurant and Wedding Chapel

San Bernardino County Museum

Information Center

A-2 Information Center

Trade Center

Regional Office Center I

A-3 Information Center

Sales & Leasing Information

A-4 Regional Office Center

Trade Center

Information Center

A-5 San Bernardino County Museum

Information Center

Side Two

Edwards Mansion
Restaurant and Wedding
Chapel

Information Center

San Bernardino County Museum

Edwards Mansion Restaurant

Information Center

Sales & Leasing Information

Regional Office Center

San Bernardino County Museum

Edwards Mansion Restaurant

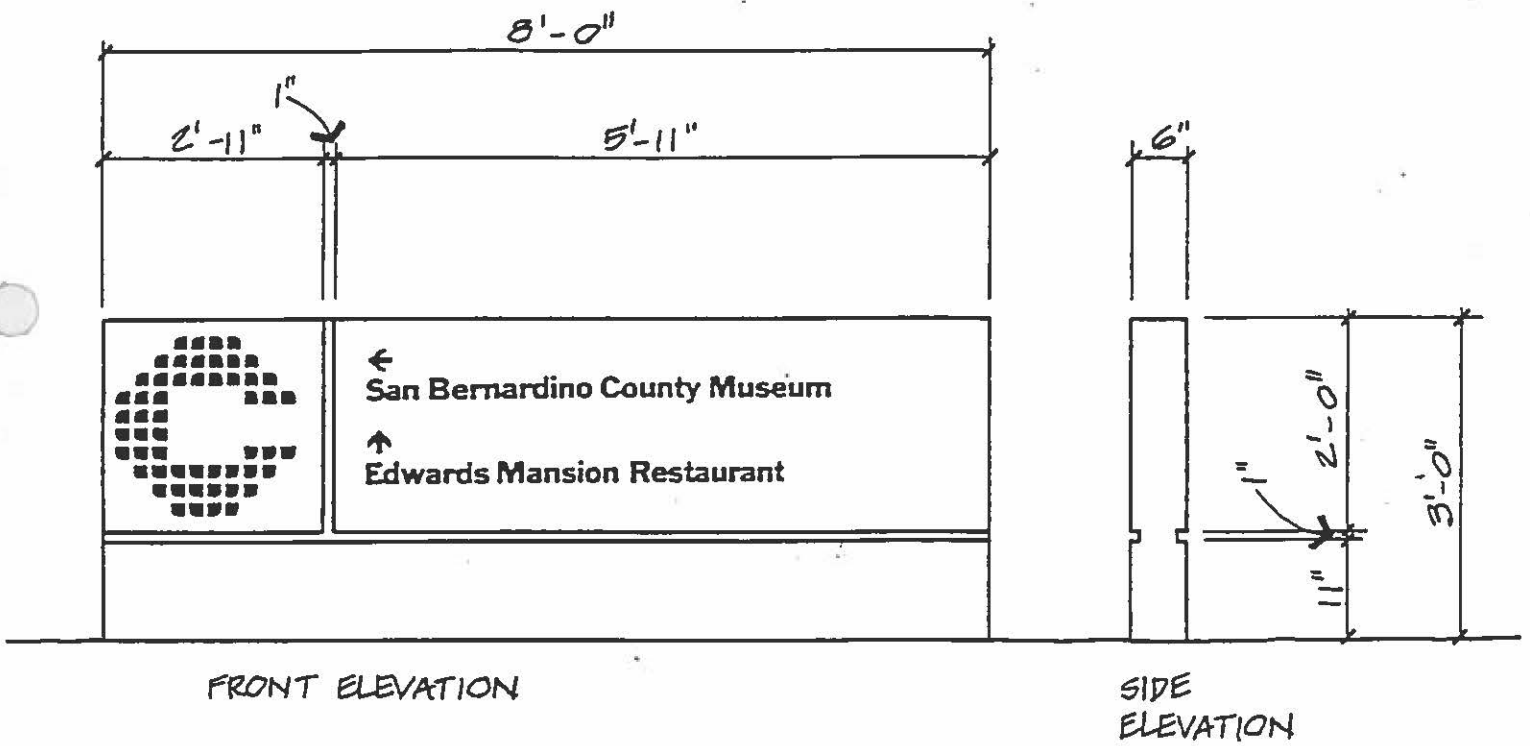


EXHIBIT 1

A-Directional Sign

B. Temporary Sale/Leasing Signs – The temporary sale/leasing sign is intended to identify vacant individual parcels within The Complex project area for limited time durations prior to site development. The temporary sale/leasing sign is depicted in Exhibit 3.

Relationship to Permitted Signs – The temporary sale/leasing sign falls within the definition of temporary signs permitted within the adopted Specific Plans and within the definition of a for sale, rent, or lease sign within the Redlands Sign ordinance with the following criteria:

1. Size: Maximum size shall be thirty-two (32) square feet.
2. Height: Maximum overall height shall be six (6) feet except in corner cut off area where height is limited to three (3) feet.
3. Location: Signs shall not be located closer than five (5) feet from street right-of-way lines nor closer than 300 feet from any other for sale, rent, or for lease sign on the property.

The temporary sale/leasing sign will be in compliance with the sign ordinance in that it will meet size, height and location requirements and will not exceed more than one sign per Parcel. The following standards shall apply:

1. The overall sign area will be nine (9) square feet, with a vertical dimension of six (6) feet and a horizontal dimension of one and one-half (1-1/2) feet.
2. The temporary sale/leasing sign will be placed on various individual parcels within The Complex, as needed.

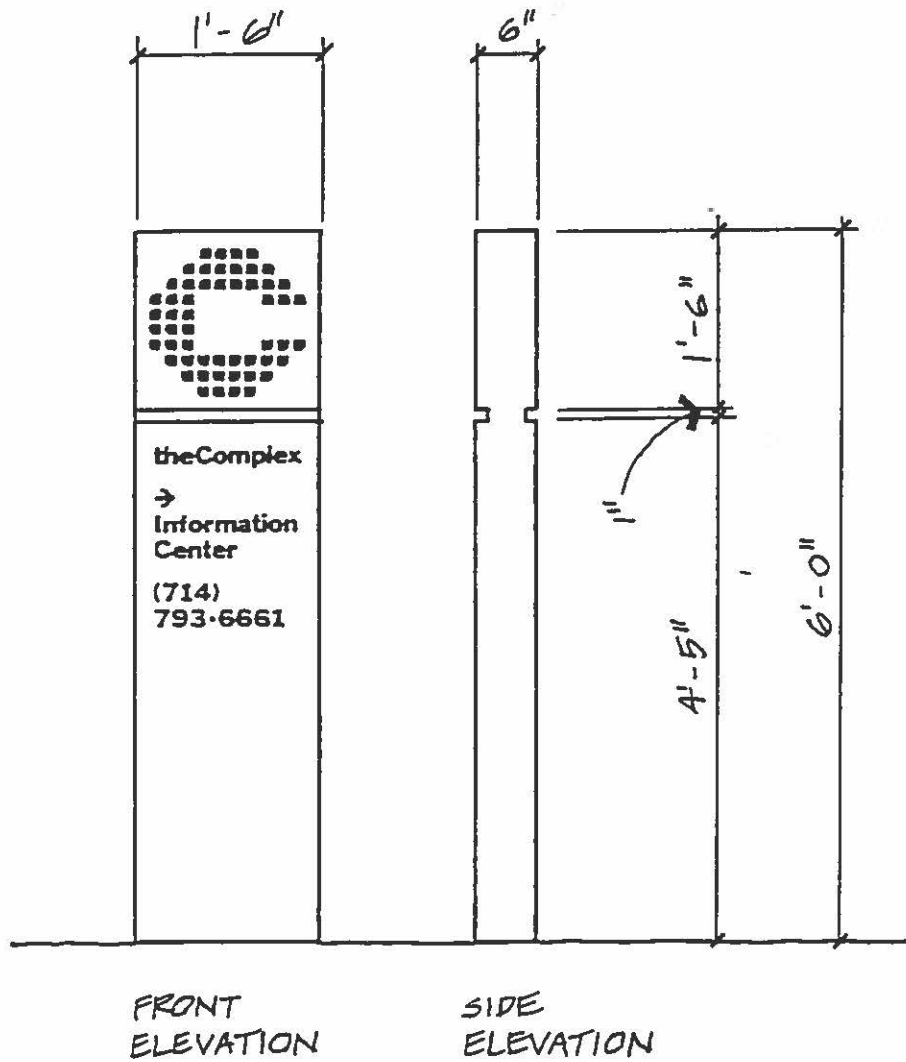


EXHIBIT 3

B-Temporary Sale/Leasing

- C. **Temporary Building Leasing Sign** – The temporary building leasing sign is intended to identify various individual buildings that are for lease or scheduled to open within a specified period of time. The sign is a temporary sign and is depicted in Exhibit 4.

Relationship to Permitted Signs – The temporary building leasing sign falls within the definition of a temporary sign permitted in the adopted Specific Plans and within the definition of a for sale, rent, or lease sign within the Redlands Sign Ordinance, with the following criteria:

1. **Size:** Maximum size shall be thirty-two (32) square feet.
2. **Height:** Maximum overall height shall be six (6) feet except in corner cut off area where height is limited to three (3) feet.
3. **Location:** Signs shall not be located closer than five (5) feet from street right-of-way lines nor closer than 300 feet from any other for sale, rent, or for lease sign on the property.

The temporary building leasing signs will be in compliance with the size and location requirements of the sign ordinance; however, it will exceed height limitations by two (2) feet. In addition, signs will be limited to one per parcel.

1. The overall sign area will be sixteen (16) square feet and will have a vertical dimension of eight (8) feet, with a horizontal dimension of two (2) feet.
2. The building leasing signs will be placed on various individual developed sites within The Complex, as needed, on a temporary basis.

- D. **Entrance I.D. Pylon Signs** – The Entrance I.D. Pylon signs are intended to identify the overall complex area at key locations and are permanent signs. The entrance I.D. Pylon is depicted in Exhibit 5 and will be placed in clusters as depicted in Exhibit 6.

Relationship to the Redlands Sign Ordinance – The Entrance I.D. Pylon is not currently permitted within the sign ordinance nor the adopted Specific Plans.

The signs are intended to be in harmony with the balance of the sign program in terms of color, design, and construction, and to make a dramatic statement for the master planned Complex.

1. The overall sign area will be thirty-six (36) square feet and will have a vertical dimension of twelve (12) feet and a horizontal dimension of three (3) feet.

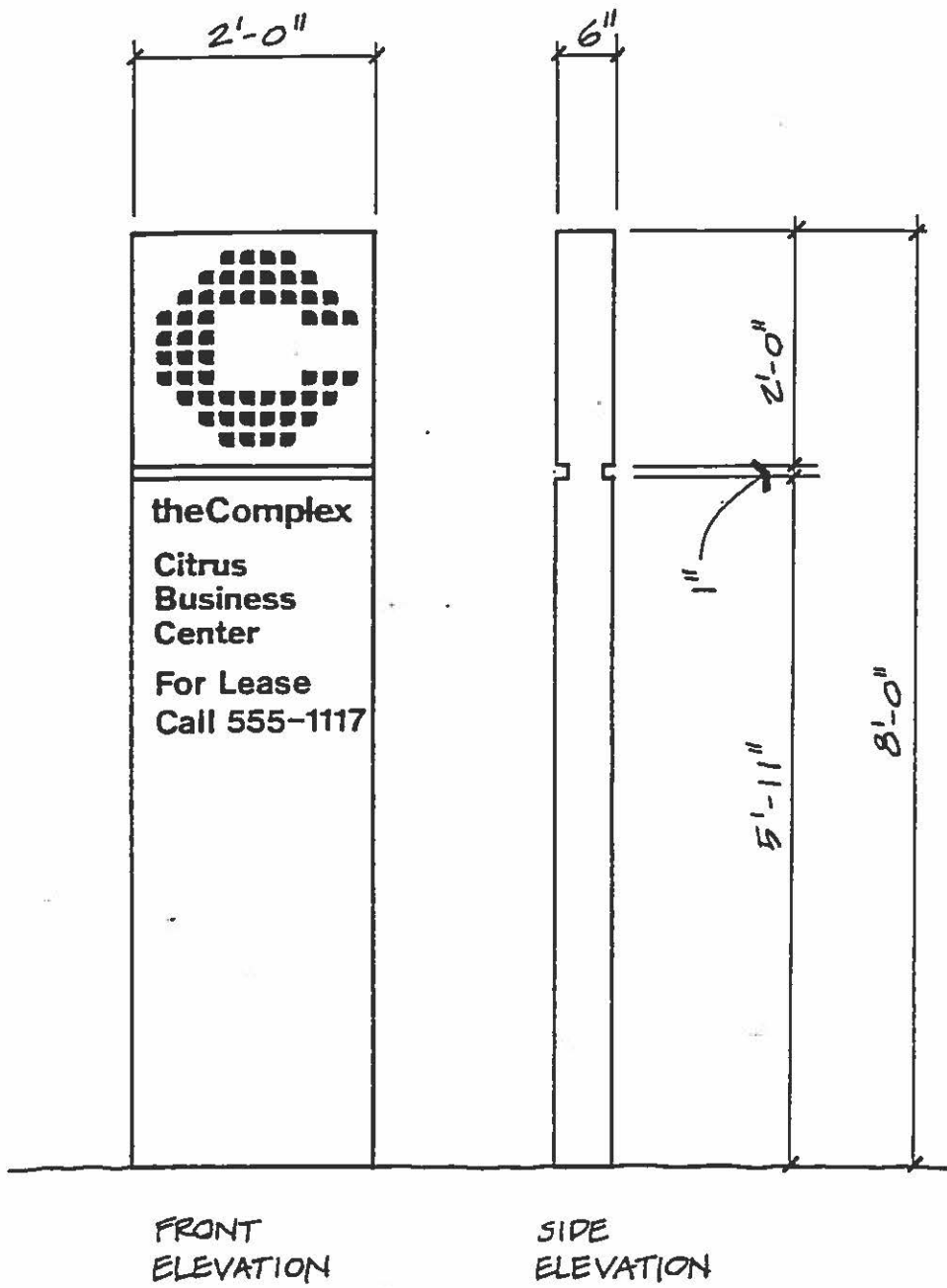


EXHIBIT 4
C-Temporary Building Leasing

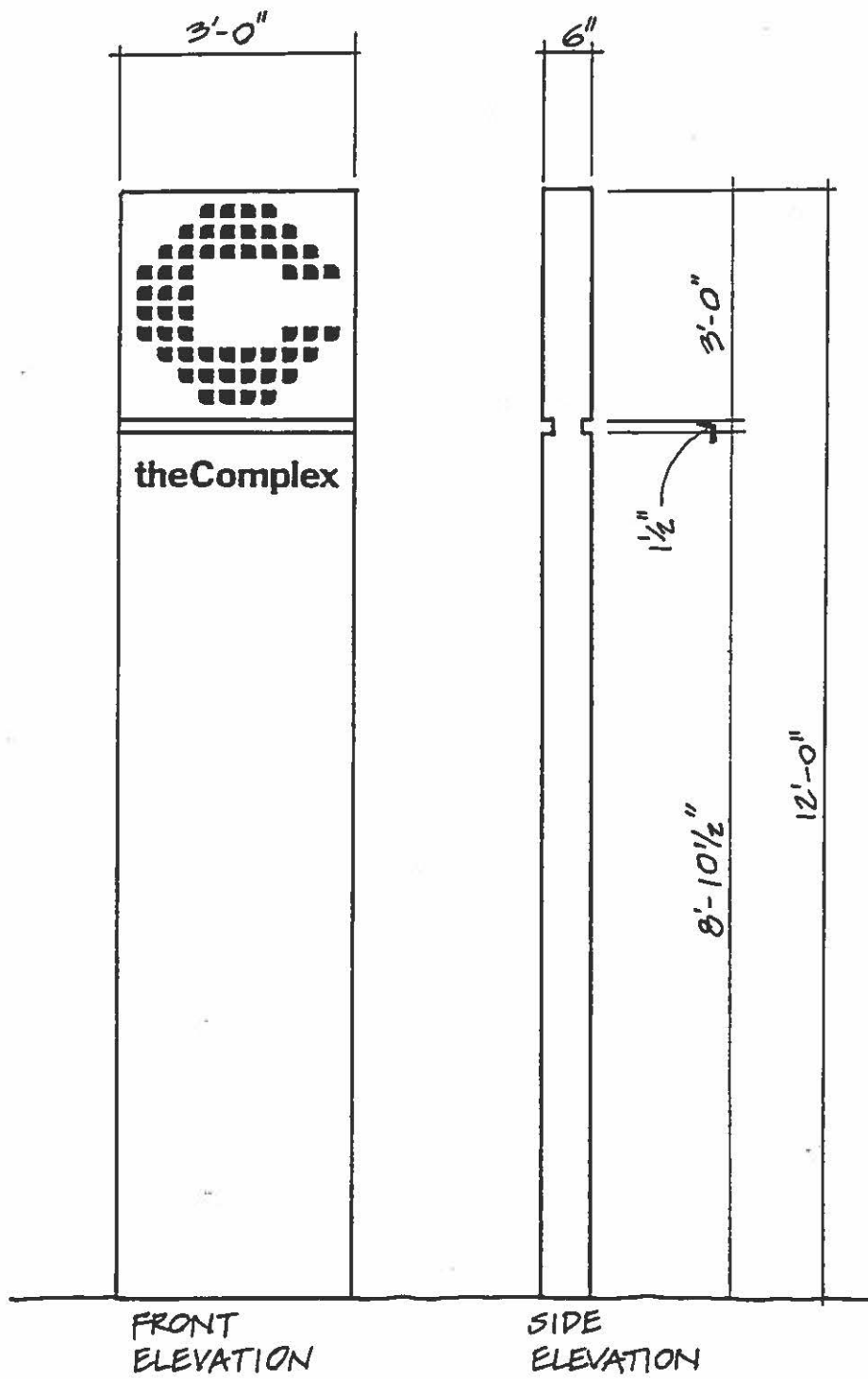
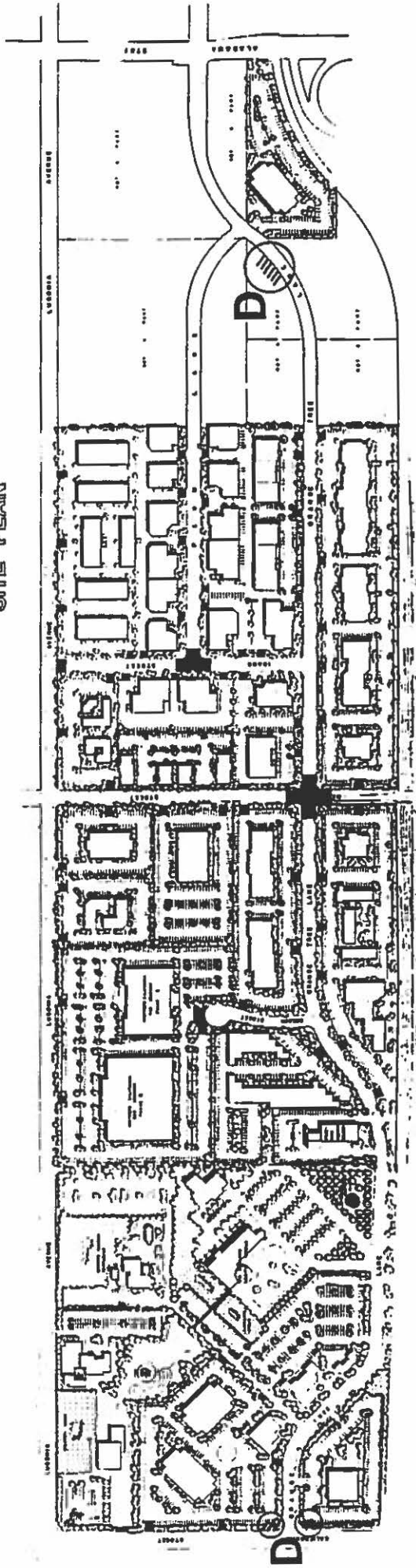


EXHIBIT 5
D-Entrance I.D. Pylon

ILLUSTRATIVE
SITE PLAN



EAST VALLEY COMPLEX
A PLANNED BUSINESS COMMUNITY BY COMMENCE ENVIRONMENTS

EXHIBIT 6

ENTRANCE I.D. SIGN LOCATION