

CONSULTANTS

PLANNING/ CIVIL ENGINEERING

Thatcher Engineering & Associates, Inc.
345 5th Street, Suite 'B'
Redlands, CA 92374
Phone: (909) 748-7777
Fax: (909) 748-7776

ARCHITECTURE

Mitchell Wade Gardner, Architect
555 Cajon, Suite 'G'
Redlands, CA 92373
Phone: (909) 557-0259
Fax: (909) 748-0050

LANDSCAPE ARCHITECTURE

STB Landscape Architects
15 South 5th Street
Redlands, CA 92373

Phone: (909) 798-7490
Fax: (909) 307-8235

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PREFACE

Casalingo Specific Plan has been prepared as a planning tool for the City of Redlands to review the proposed Tuscan style patio home development. Casalingo is more than just another residential development. Each of the design disciplines (architecture, interior design, civil engineering design, and landscape architecture) worked in a concerted effort to create the final proposed project put forth. The ultimate goal of this project is to emulate the Tuscan "feel": powerful yet peaceful, serene yet functional, and to present the image of simple grandeur.

Development guidelines for the subject Specific Plan are outlined in the enclosed document. Any details or issues not specifically addressed by this Specific Plan shall be subject to the regulations of the City of Redlands Municipal Code. Definitions of terms shall also be as defined in the Redlands Municipal Code.

I. INTRODUCTION

A. Purpose of the Specific Plan

The purpose of Casalingo Specific Plan is to create a document that allows for the logical re-development of Assessor's Parcel Numbers 0300-411-11 and 12. These two parcels include approximately 5.69 gross acres in the southeast portion of Redlands, located east of Redlands Country Club. This parcel is surrounded by single-family residential homes.

Casalingo Specific Plan creates an intimate, gate-guarded community of fourteen (14) single-family residences. An enhanced landscaped entry from Wabash Avenue will provide access to the project's private roadway. Each of the residences will have an attached three-car garage and private driveway. Additional parking will be provided within the interior roadway and a parking area adjacent to the private Community Lounge/Wine Cellar.

The private residences and attached patios will be surrounded by a common theme of landscaping, including a variable palette of street trees, yard trees, turf, shrubs, ground covers and slope planting. Where possible, grade changes will be accomplished with decorative segmental retaining walls. Water features will be included in the landscaped island and entry area of the private roadway. A concrete sidewalk will link the residences to the private Community Lounge and Wabash Avenue. Uniform maintenance of the common areas and Community Lounge will be provided by the Homeowner's Association.

B. Project Description

The site was previously developed as a private recreational facility, including tennis courts, pools, outdoor recreation and a building that housed the exercise room, locker rooms and showers. Though once a successful endeavor, over time, the private membership and usage of the property declined, forcing a reduced level of maintenance and care of the facility. In May of 2005, the City of Redlands issued a demolition permit of the previous uses.

The proposed redevelopment of the 5.69 acre site will include fourteen (14) single-family family homes. The architectural theme for the project is to emulate the Tuscan "feel:" powerful, yet peaceful, serene, yet functional, and to present the image of simple grandeur.

Tuscan, and for that matter, all historical Italian ways of life have incorporated a melding of indoors and outdoors. The use of natural materials, such as stone, clay, wood, and stucco, help to create this environment. Both of the floor plans offered in this project have outdoor living areas and outdoor kitchens. These features are generous in size, but not so grand as to diminish the sense of intimacy and simplicity reflective of the Tuscan way.

Two plan types and two elevations will allow for a variable streetscape. Plan One is single-story and will include 2,695 square feet, and have three (3) bedrooms and three (3) bathrooms. Plan Two is also single-story and will include 2,485 square feet, and have two (2) bedrooms and (2) bathrooms. Each of the units will have a private patio that will include various features such as fireplaces, benches, garden walls, planters, trellises, and stone pavers. Exterior kitchens will be incorporated, with built in barbeques, refrigerators, sinks, and service ware storage. Each of the residences have been sited around the roadway to maximize their privacy. Staggered setbacks and front elevations will provide private front entries. Side yard setbacks between the units were held to a minimum of 15 feet also enhancing the privacy of the residents. The residences have been set back from the interior roadway to provide for sufficient room to park within the driveway. Additional parking will be allowed within the private street and a parking area is provided adjacent to the Community Lounge/Wine Cellar.

A 1,650 square foot Clubhouse consisting of a Community Lounge and Wine Cellar will be privately owned by the residents. A Community Lounge is provided to the owners as a refreshing alternative to the standard workout/group meeting facility. The concept is to have a usable area in which to throw dinner parties, birthday parties, hold HOA meetings, and nearly any other informal to formal group function. The facility will have a wine cellar with private wine "lockers", which are available to the homeowners and their families.

The "Tuscan" feel is extended from the architecture into the landscaping. Entering the site, a visitor is immediately immersed into the simple grandeur of the warmly

colored textured paving and decorative stone and wrought iron entry monumentation. Framing the views are large multi-stemmed fruitless olive trees in raised, stone veneered planters, and large canary island date palms. A tree lined street with shade and various flowering trees used as focal accents carry the eye from home to home. As one travels a little further in, the soft sounds of bubbling water resonate softly from a thoughtfully landscaped boulder fountain and stone lined riverbed bed located in the center median island of the project.

Casalingo has been developed to incorporate and blend all of the design disciplines together creating a cohesive project from the architecture through the landscape elements.

C. The Specific Plan Area

Casalingo Specific Plan consists of 5.69 gross acres. The site is adjacent to, and west of the Wabash Avenue and north of the Los Altos Drive right-of-way. Each of these streets are currently dedicated with 30 feet of right-of-way from the centerline of the roadway. The current net acreage of the site is 4.93 acres. The City of Redlands has designated Wabash Avenue as a residential collector street, and Los Altos Drive as a local street. The residential collector street designation requires a 32 foot half-width street section for Wabash Avenue, and the local street designation requires a 30' half-width street for Los Altos Avenue. Therefore, Casalingo Specific Plan will dedicate an additional 2 feet along the right-of-way frontage for Wabash Avenue. This additional right-of-way dedication will result in an ultimate net acreage of the site of 4.91 acres.

Casalingo Specific Plan consists of two legal parcels denoted by the County Assessor's Office as Assessor's Parcel Number 0300-411-11 and 12. The current site address of the site is 12626 Wabash Avenue.

The property is legally described as follows:

That portion of the south half of fraction Section 6, Township 2 South, Range 2 West, San Bernardino Base and Meridian, in the County of San Bernardino, State of California, according to Government Survey, described as follows:

Commencing at the intersection of the center line of Los Altos Drive and the east line of Tract 6592, said east line, also being the east line of Section 1, Township 2 South, Range 3 East, San Bernardino Base and Meridian, as same is shown on map of said Tract No. 6592, recorded in Book 83, pages 12 and 13 of Maps, records of said County; thence south $71^{\circ} 21' 45''$ east along the easterly prolongation of said center line of Los Altos Drive, 139.71 feet to the beginning of a tangent curve concave to the north and having a radius of 1030.00 feet; thence easterly along said curve through a central angle of $27^{\circ} 57' 42''$ a distance of 502.67 feet to the true point of beginning; thence $09^{\circ} 19' 27''$ west, radial to said curve, 30.00 feet; thence north $01^{\circ} 29' 15''$ west, parallel with said east line of Section 1, Township 2 South, Range 3 East, 429.59 feet; thence north $88^{\circ} 30' 45''$ east, at right angles, 426.75 feet; thence north $49^{\circ} 00' 00''$ east, 50.34 feet; thence south $41^{\circ} 00' 00''$ east, at right angles, 253.00 feet to the beginning of a tangent curve, concave to the southwest and having a radius of 450.00 feet; thence southeasterly along said curve through a central angle of $22^{\circ} 34' 50''$ a distance of 177.35 feet; thence south $77^{\circ} 03' 36''$ west 654.76 feet to the beginning of a tangent curve, concave to the north and having a radius of 1030.00 feet; thence westerly along said curve through a central angle of $03^{\circ} 36' 57''$, a distance of 65.00 feet to the true point of beginning.

Excepting therefrom that portion lying within Los Altos Drive and Fairway Drive.

Also excepting therefrom that portion lying northeasterly of the northwesterly prolongation of the southwesterly line of Fairway Drive, as shown on Tract No. 7908, as per plat recorded in Book 102, page 41 and 42 of Maps, records of said County.

The location of the site is shown on the USGS Display Map – Exhibit 2, and on the Vicinity Map – Exhibit 3.

Casalingo Specific Plan boundary is shown on the Project Boundary Map – Exhibit 4.

LAND USE PLAN

PROJECT AREA

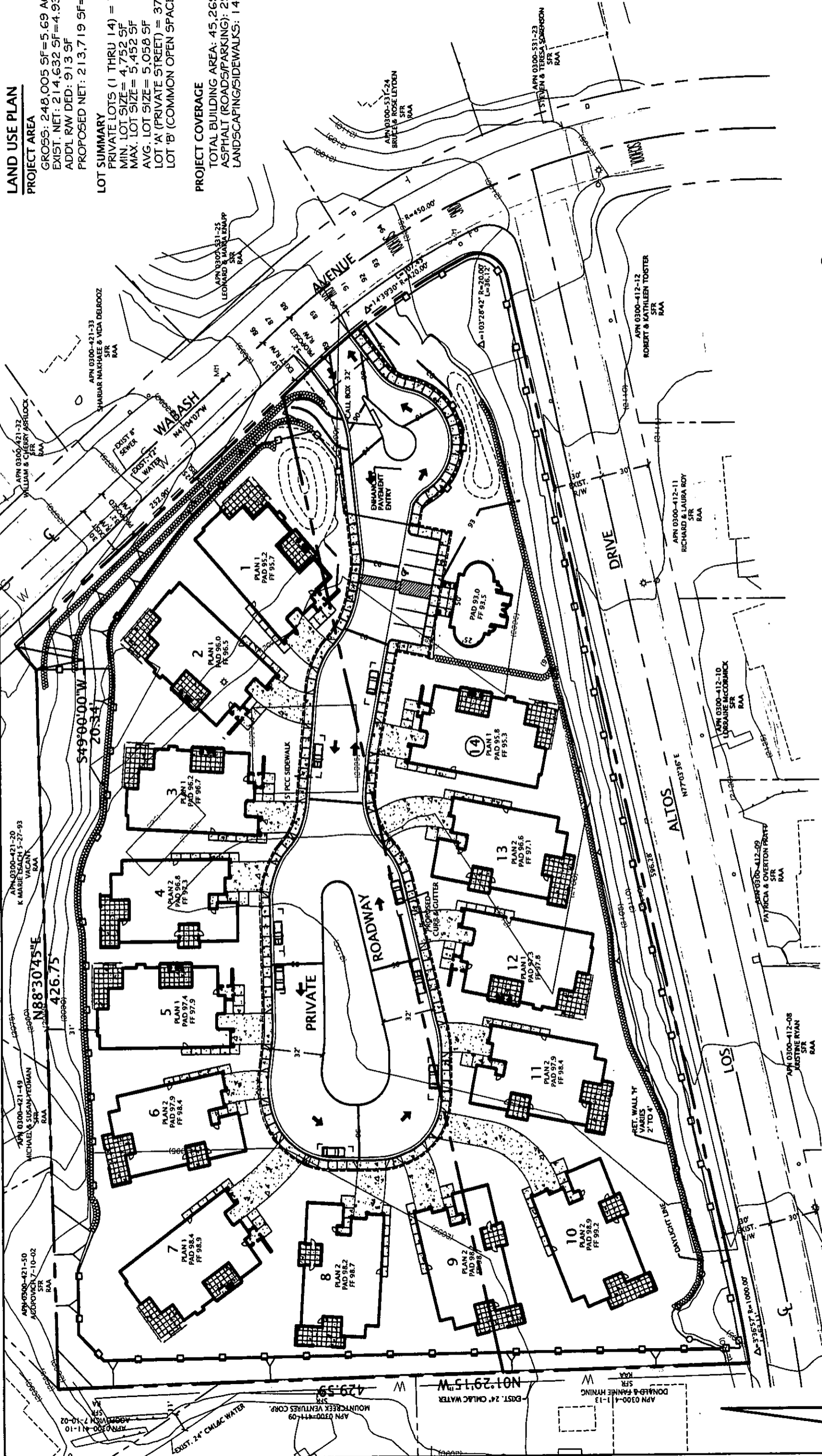
GROSS: 248,005 SF = 5.69 AC
 EXIST. NET: 214,632 SF = 4.93 AC
 ADDL. RM DED: 913 SF
 PROPOSED NET: 213,719 SF = 4.91 AC

LOT SUMMARY

PRIVATE LOTS (1 THRU 14) = 70,812 SF (TOTAL)
 MIN. LOT SIZE = 4,752 SF
 MAX. LOT SIZE = 5,452 SF
 AVG. LOT SIZE = 5,058 SF
 LOT 'A' (PRIVATE STREET) = 37,618 SF
 LOT 'B' (COMMON OPEN SPACE) = 108,114 SF

PROJECT COVERAGE

TOTAL BUILDING AREA: 45,269 SF (21.18%)
 ASPHALT (ROADS/PARKING): 25,544 SF (11.95%)
 LANDSCAPING/SIDEWALKS: 142,906 SF (66.87%)



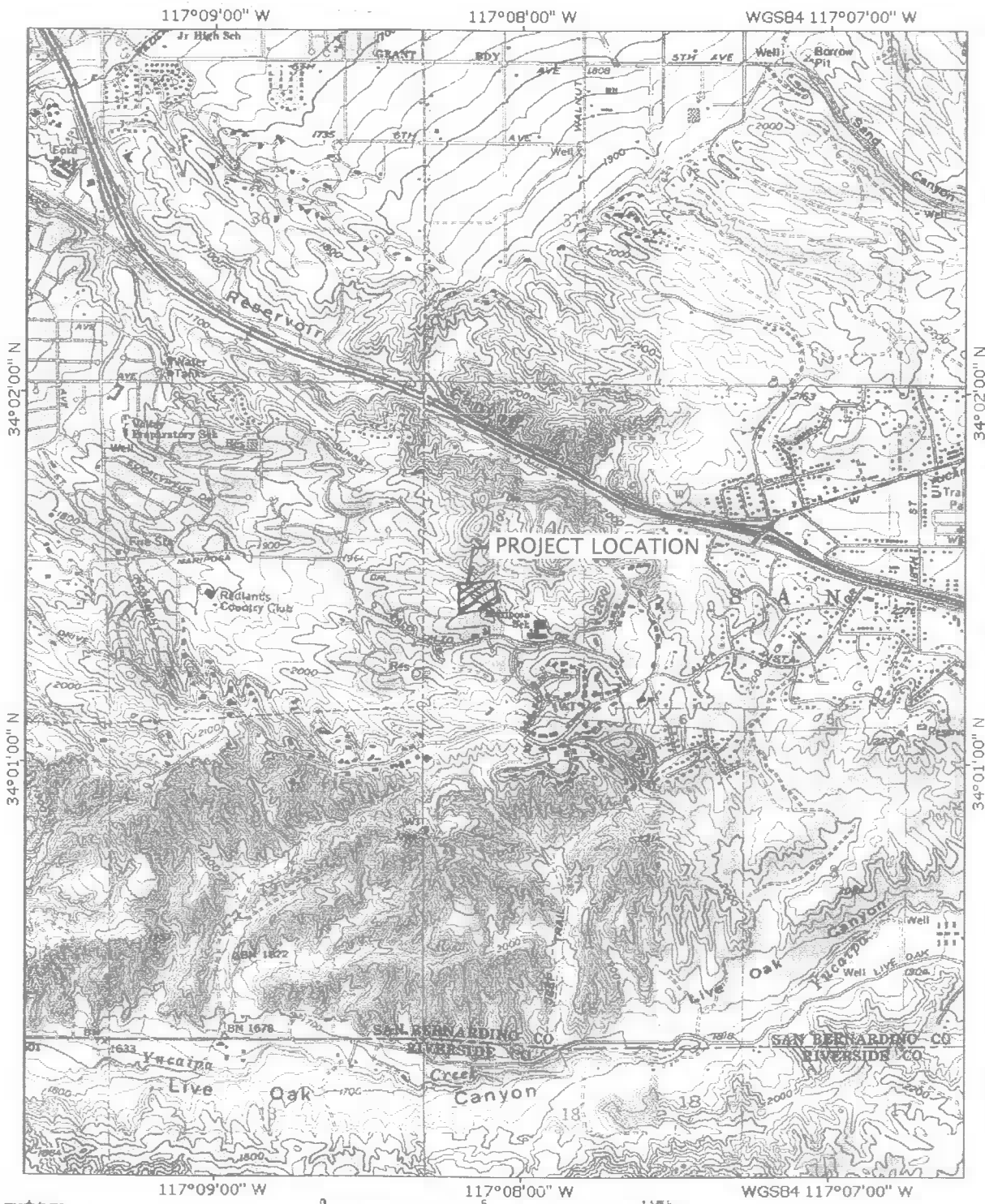
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**LAND USE PLAN
EXHIBIT 1**

gardner construction & development, inc.
 555 cajon street, suite 'g'
 redlands, ca 92373
 (909) 748-7700

L THATCHER ENGINEERING
 & ASSOCIATES, INC.
 345 5TH STREET, SUITE B
 REDLANDS, CA 92374
 (909) 748-7777 FAX (909) 748-7776





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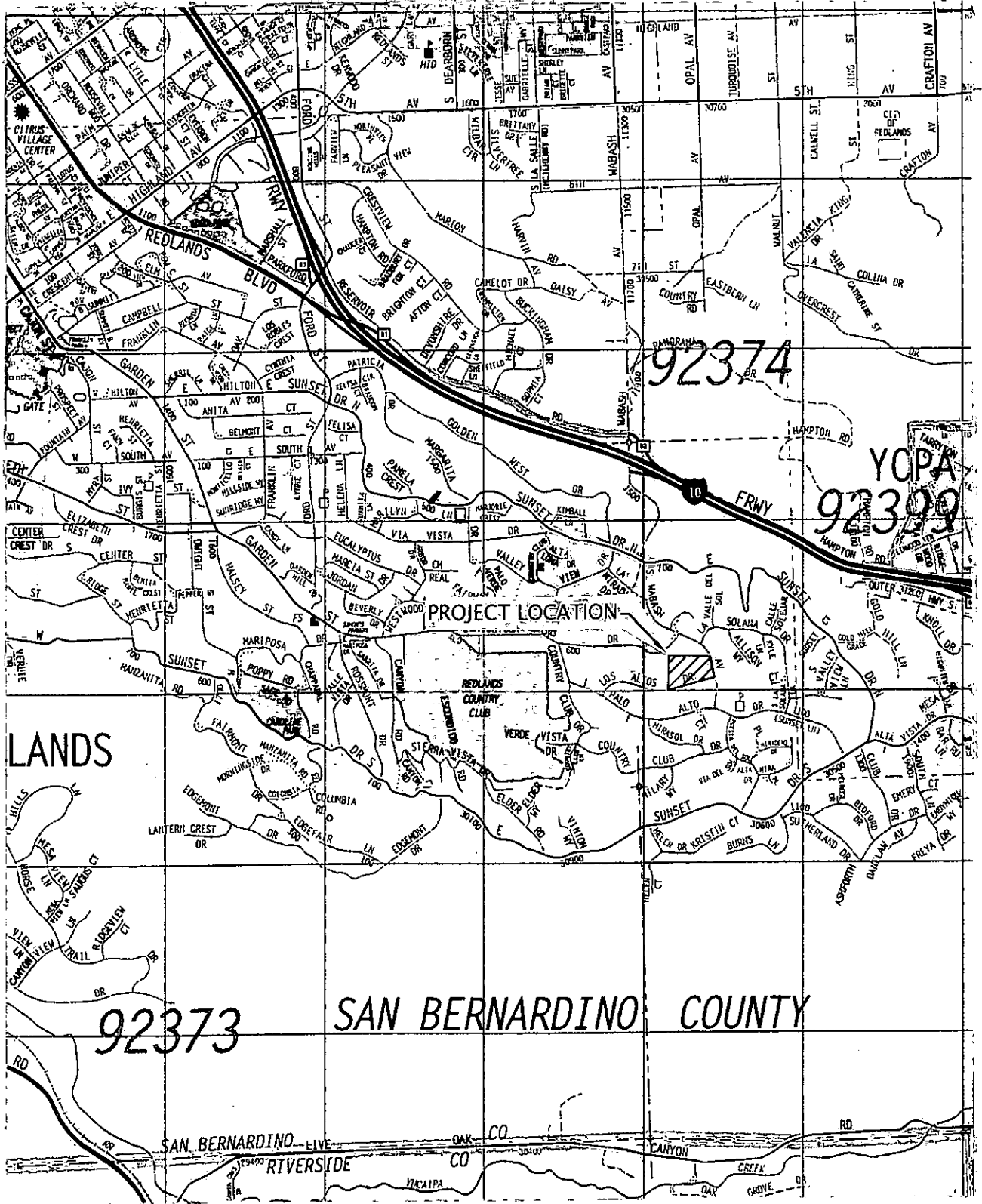
0 1000 FEET 0 500 1000 METERS 1 MILE
Map created with TOPO! © 2003 National Geographic (www.nationalgeographic.com/topo)

T THATCHER ENGINEERING & ASSOCIATES, INC.
345 5TH STREET, SUITE B.
REDLANDS, CA. 92374
(909) 748-7777 FAX (909) 748-7776
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USGS DISPLAY MAP
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555 cajon street, suite 'g'
redlands, ca 92373
(909) 748-7700

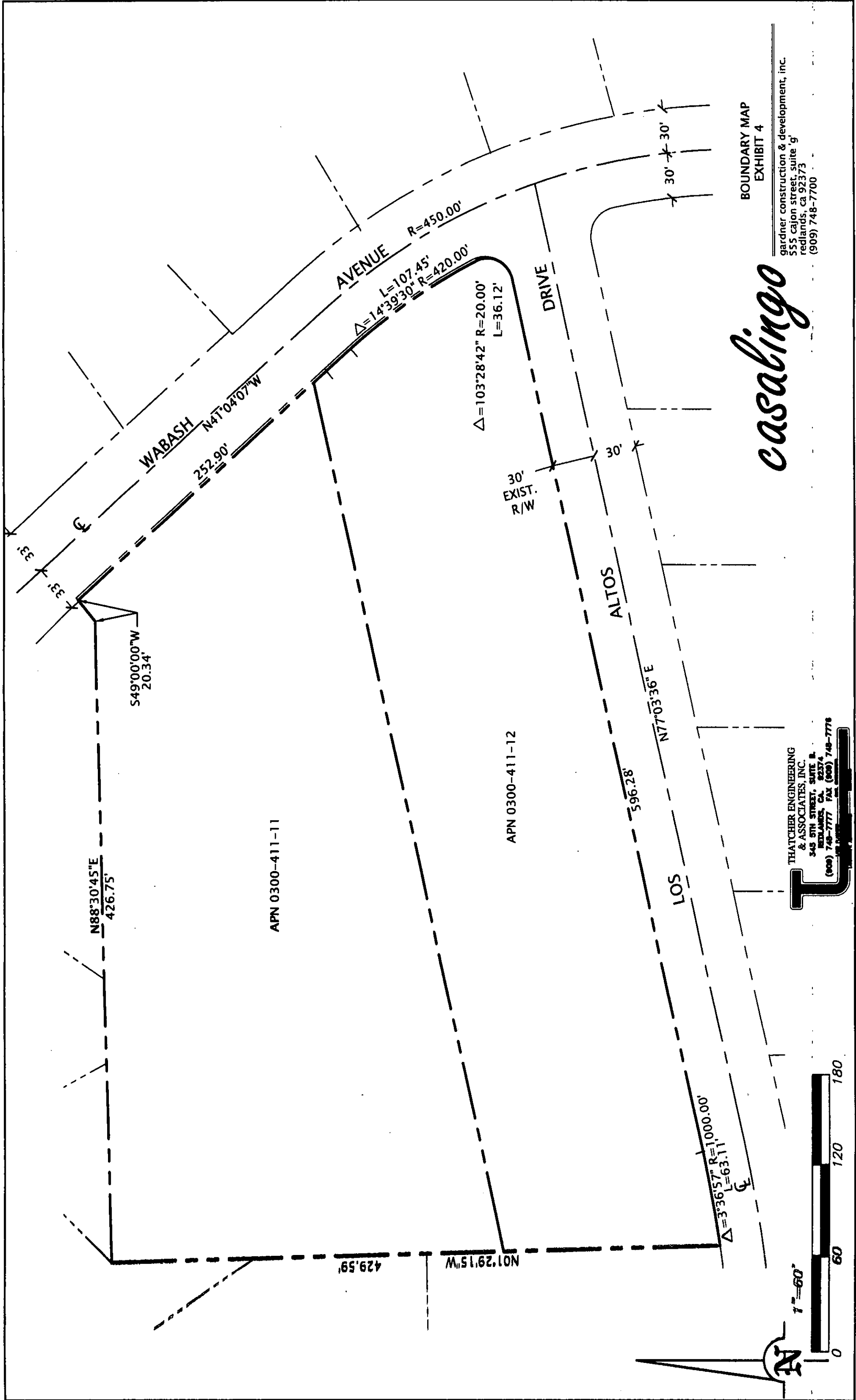


T THATCHER ENGINEERING
 & ASSOCIATES, INC.
 345 5TH STREET, SUITE B.
 REDLANDS, CA. 92374
 (909) 748-7777 FAX (909) 748-7778

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VICINITY MAP
EXHIBIT 3

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 redlands, ca 92373
 (909) 748-7700



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BOUNDARY MAP
EXHIBIT 4

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(909) 748-7700

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345 5TH STREET, SUITE B
REDLANDS, CA 92374
(909) 748-7777 FAX (909) 748-7776



D. Project Setting

City records show that the site has been disturbed by human activities since 1968 when it was graded for the construction of the abandoned swim and tennis club. A demolition permit and Mitigated Negative Declaration was approved by the City of Redlands Environmental Review Committee in May, 2005, for the demolition of that previous use. No significant aesthetic resources, agricultural resources, biological or cultural resources are known to exist on the site. The site is currently vacated and removal of the previous structures and physical features is ongoing.

The site is currently zoned as RAA – Residential Estate Animals District.

The site is surrounded by existing single-family residences. The properties to the north, south, east and west are zoned RAA-Residential Estate Animals District. The properties to the northwest are zoned RA-Residential Estate.

The existing parcelization surrounding the project is shown on the Assessor's Map Composite – Exhibit 5. The surrounding zoning is shown on the Existing Zoning Map – Exhibit 6 and the Surrounding Land Use Map – Exhibit 7.

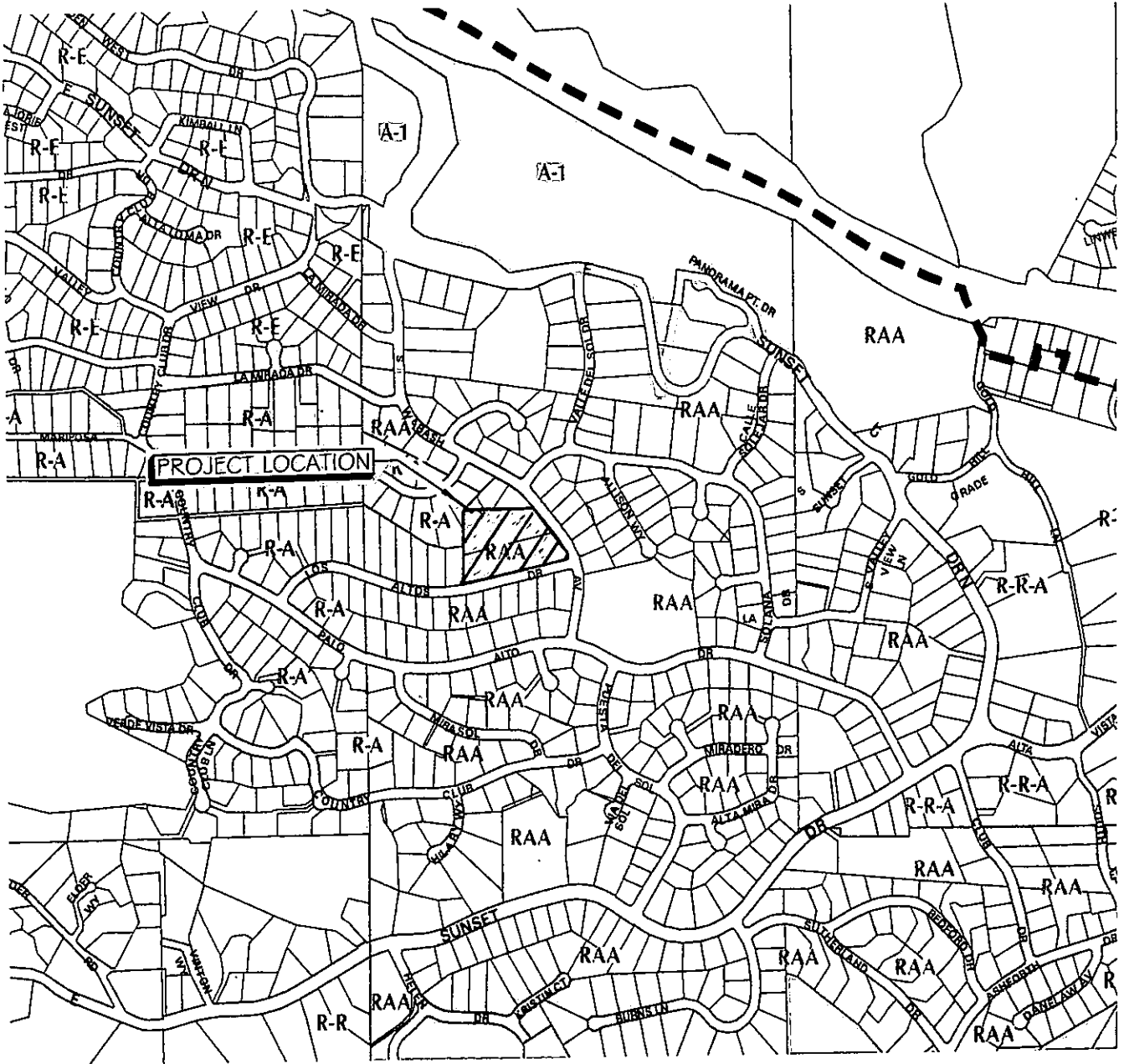


ASSESSOR'S MAP COMPOSITE
EXHIBIT 5

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& ASSOCIATES, INC.
345 5TH STREET, SUITE B.
REDLANDS, CA. 92374
(909) 748-7777 FAX (909) 748-7778

gardner construction & development, inc.
555 cajon street, suite 'g'
redlands, ca 92373
(909) 748-7700



Single Family Residential

R-R, R-R-A, R-A, R-A-A, R-E, R-S, EV/R-S, R-1
R-1D

R-A	RESIDENTIAL ESTATE DISTRICT 20,000 SQ. FT.
RAA	RESIDENTIAL ESTATE ANIMALS DISTRICT - 20,000 SQ. FT.

T THATCHER ENGINEERING
& ASSOCIATES, INC.
345 5TH STREET, SUITE B.
REDLANDS, CA. 92374
(909) 748-7777 FAX (909) 748-7776

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EXISTING ZONING MAP
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gardner construction & development, inc.
555 cajon street, suite 'g'
redlands, ca 92373
(909) 748-7700



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**SURROUNDING LAND USE
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gardner construction & development, inc.
555 cajon street, suite 'g'
redlands, ca 92373
(909) 748-7700

**THATCHER ENGINEERING
& ASSOCIATES, INC.**
345 5TH STREET, SUITE B
REDLANDS, CA 92374
(909) 748-7777 FAX (909) 748-7778

E. Highlights of the Geotechnical Study

A "Limited Preliminary Soil Investigation Report" prepared by Sid Geotechnical, Inc., was completed on April 27, 2005. The report summarized their preliminary findings, conclusions, and recommendations for the subject property.

The Geotechnical Conditions were summarized as follows:

- **Field Work** – Two exploratory borings were drilled on April 16, 2005 to a maximum depth of 15 feet below the existing ground surface. The subsurface soils were found to vary in texture and classification ranging from fine to medium grained silty sand and fine to coarse grained silty sand with gravel.
- **Laboratory Testing** – Tests were performed for the soil samples for natural moisture contents, sieve analysis and expansion index.
- **Groundwater** – No groundwater was encountered with the testing. Groundwater is not expected to impact any proposed site grading.
- **Liquefaction** – The potential for liquefaction is low.
- **Slope Construction** – Onsite soils are typically grossly stable to heights of over 10 feet at 2:1 (horizontal to vertical) inclination.
- **Oversized Materials** – If oversized rock is encountered during grading (larger than 8 inches in diameter) specific consideration for disposal within deep onsite fills or removal from the site will be required.
- **Seismically Induced Settlement** – The possibility of seismically induced settlement within surficial soils cannot be entirely precluded, however, would be mitigated by overexcavation and recompaction of the upper foundation soils.
- **Seismicity** – A computer search of all known Quaternary major faults within 50 miles of the site was performed and seismic parameters were established for the project.

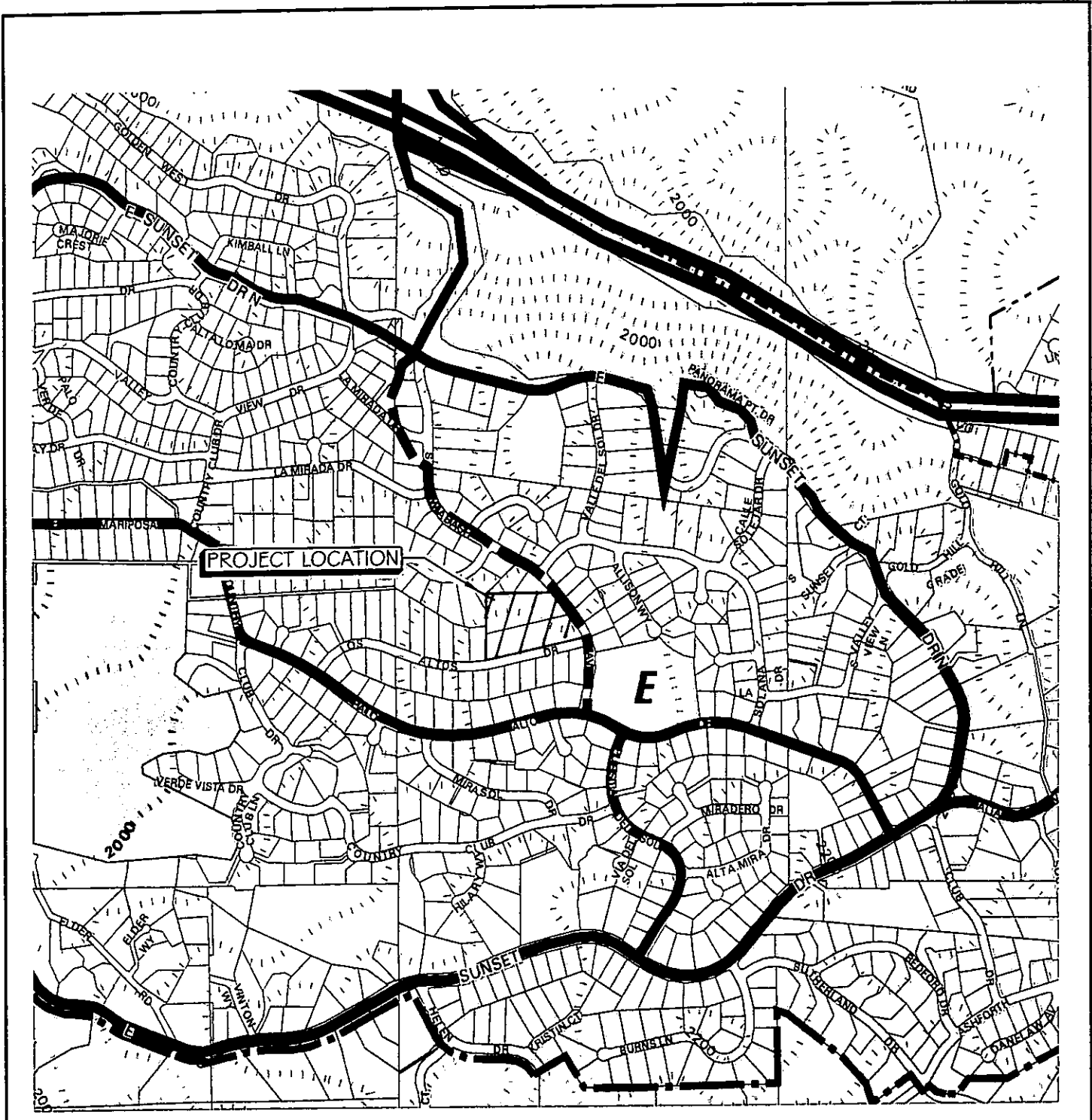
F. Relationship to the General Plan

The General Plan Designation for the project site is Very Low Density Residential (0 to 2.7 units per gross acre on properties of 0 to 15% slope). See Existing General Plan – Exhibit 8. A slope analysis of the property was performed and the average slope was determined to be 14.0%. The result of the slope analysis is shown on the Slope Analysis Map – Exhibit 9.

Considering that the gross acreage for the site is 5.69 acres, the maximum number of allowed dwelling units would be 15 residences. Casalingo Specific Plan is consistent with the goals and objectives of the current General Plan. The project proposes fourteen (14) dwelling units at a density of 2.46 dwelling units per gross acre.

The following Guiding Policies and Implementing Policies of the General Plan are relevant to the Casalingo Specific Plan:

- 3.10b** – Retain the character of the neighborhoods, streets and buildings that established Redlands’ reputation as an ideal Southern California City.
- 3.10o** – Limit the visible bulk of single-family homes.
- 4.40a** – Maintain the predominant single-family residential character of Redlands.
- 4.40d** – Encourage a variety of housing types to serve all economic segments of the Community.
- 4.40m** – Establish a range of residential densities and development standards which encourage a mix of housing types.
- 4.40n** – Protect residential neighborhoods by establishing policies and standards which discourage incompatible uses.
- 4.40o** – Establish guidelines which will encourage better neighborhood design.
- 4.40p** – Encourage underground utilities in all new residential development.



PROJECT LOCATION

Very-Low-Density Residential

On Slopes Under 15 percent: 0 to 2.7 units per gross acre
 On Slopes of 15 to 30 percent: Up to 1.0 unit per 2.5 acres



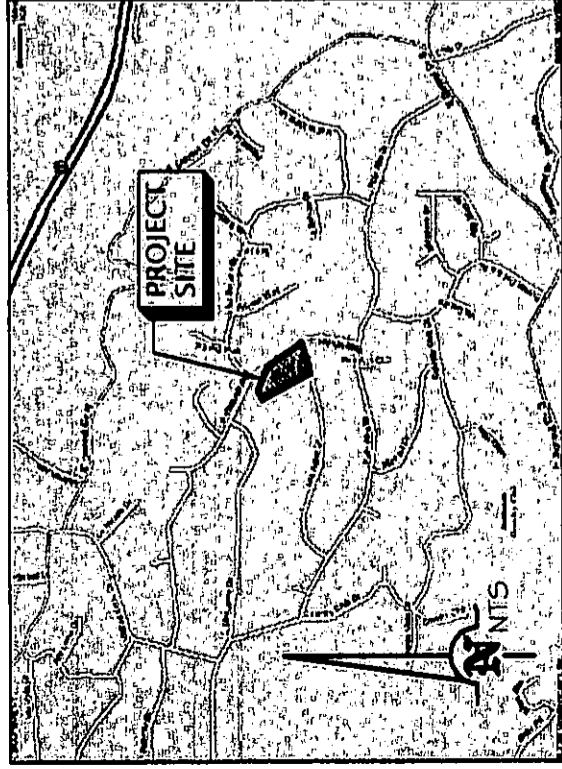
T THATCHER ENGINEERING
 & ASSOCIATES, INC.
 345 5TH STREET, SUITE B.
 REDLANDS, CA. 92374
 (909) 748-7777 FAX (909) 748-7778

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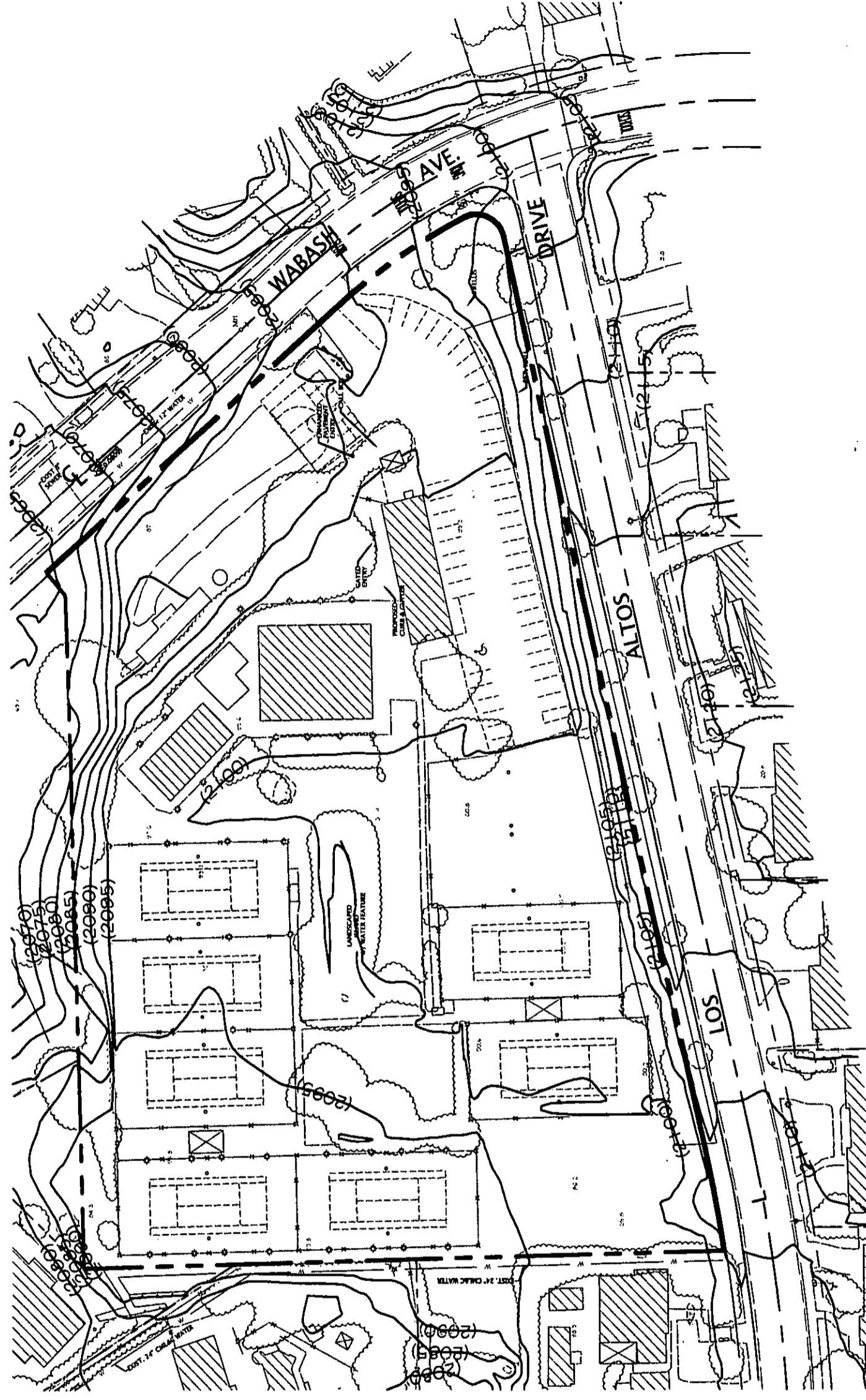
EXISTING GENERAL PLAN
 EXHIBIT 8

gardner construction & development, inc.
 555 cajon street, suite 'g'
 redlands, ca 92373
 (909) 748-7700

VICINITY MAP



SLOPE ANALYSIS PLAN
 APN 0300-411-11 & 12
 CITY OF REDLANDS



SLOPE CALCULATION

$$\text{AVERAGE SLOPE} = \frac{I \times L \times 0.0023}{A}$$

$I = 5'$
 $L = 6,012'$
 $A = 4.93 \text{ AC}$

$$\text{AVERAGE SLOPE} = \frac{(5)(6,012)(0.0023)}{4.93}$$

AVERAGE SLOPE = 14.02%

CONTOUR LENGTH	
2065	14'
2070	137'
2075	171'
2080	323'
2085	700'
2090	762'
2095	1,146'
2100	1,532'
2105	649'
2110	393'
2115	185'
TOTAL	6,012'



1" = 80'
 SURVEY DATE: 2/3/05



T
 THATCHER ENGINEERING
 & ASSOCIATES, INC.
 348 5TH STREET, SUITE B
 REDLANDS, CA 92374
 (909) 748-7777 FAX (909) 748-7778

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SLOPE ANALYSIS PLAN
 EXHIBIT 9
 gardner construction & development, inc.
 555 cajon street, suite 'g'
 redlands, ca 92373
 (909) 748-7700

G. Goals and Objectives

The concept of Casalingo Specific Plan is to establish a private, high quality single-family residential patio home development for active seniors and "empty nesters." Many individuals in the community have a need for the benefits and privacy afforded by single-family residential living, but do not want the burden of the required care and maintenance that large yards require. The project proposes two and three bedroom homes with unit sizes of 2,485 SF and 2,695 SF that allow for their desired use and entertainment purposes along with the building separation and density that they have been accustomed to within similarly zoned areas within the City, while providing for a Homeowner's Association that would provide a consistent level of maintenance throughout the project.

To achieve this vision, Casalingo Specific Plan has incorporated the following goals and objectives:

- 1.) To provide the planning framework for the development of a single-family residential, very low density housing project.
- 2.) To redevelop the property with a project that is consistent with the allowable density of the surrounding neighborhood and underlying general plan designation.
- 3.) To create a superior architecture design that complements and enhances the uniqueness of the surrounding neighborhood.
- 4.) To create a private neighborhood in a desirable portion of the City that provides for a special sector of the populous desiring single-family ownership with the benefits of a gated community, while achieving relief of the maintenance of a large private yard.
- 5.) To provide for the extension of adequate infrastructure, including water and sewer.
- 6.) To incorporate comprehensive design guidelines that creates compatibility with surrounding areas and neighborhoods.

II. LAND USE PLANNING AND REGULATORY PROVISIONS

A. Permitted Uses

1.) Single-family detached dwellings

- a.) A maximum of one dwelling unit per lot shall be permitted, including an attached 3-car garage.
- b.) Built in barbecues within the private patios shall be allowed.
- c.) Home occupations shall be permitted in accordance with the Redlands Municipal Code. Customer or client visitations to home offices are not permitted. Signage is also not permitted for home offices. A valid business license is required and the nature of the business must not be a nuisance to other residents.
- d.) Patio covers within the private patios shall be allowed.
- e.) No detached accessory structures in the yards/patios shall be allowed.

B. Permitted Accessory Land Uses

- 1.) Accessory buildings such as a clubhouse for the community, cabana, or storage shed.
- 2.) Recreational facilities intended for use by the homeowners of the residential development and their guests.

C. Conditionally Permitted Uses

- 1.) Additions to the Clubhouse structure shall be permitted through a Conditional Use Permit.

D. Prohibited Uses

- 1.) Upon the completion of the construction of the development, room additions will not be permitted.
- 2.) Any use not listed as permitted, conditionally permitted, or permitted as an accessory use and not addressed in the Redlands Municipal Code is prohibited.

E. Property Development Standards

- 1.) **Lot Area:** Each lot shall have a minimum area of 4,700 square feet. (The Plan proposes a minimum lot area of 4,752 SF.)
- 2.) **Lot Dimensions:** Each lot shall have a minimum width of fifty-four (54) feet, and a minimum depth of eighty-eight (88) feet. (The Plan

proposes a minimum lot width of 54 feet and a minimum lot depth of 88 feet.)

- 3.) **Maximum Coverage:** Allowable maximum structural site coverage: not to exceed twenty-five percent (25)% of total net property.

Proposed total coverage calculations:

Plan Type 1: 2,695 SF x 7 units = 18,865 SF

Plan Type 2 2,485 SF x 7 units = 17,395 SF

Community Lounge: 1,650 SF x 1 unit = 1,650 SF

- 4.) **Total Open Space:**

Required minimum total *open space shall be no less than 75% of total net property.

*(Total open space includes: yards, patios, decks, balconies, landscape, hardscape, courtyard areas, curbs, gutters, paved sidewalks, private roadway, and parking areas.)

The proposed total open space is calculated as follows:

Private yards and patios:	25,095 SF
Common landscaping/hardscaping:	117,811 SF
Private roadway/parking area:	<u>25,544 SF</u>
Total Proposed Open Space:	168,450 SF (79%)

- 5.) **Private Open Space:**

Required private open space shall be provided at a minimum of 1,700 SF per unit. (The Plan proposes a minimum of 1,731 SF of private open space per unit.)

Private open space shall be maintained by the homeowner. Limitations of uses of private open space may be set by the Home Owners Association. As necessary, easements may be recorded on the Final Map as required for the Home Owners Association. Private open space shall include private yards and patios.

- 6.) **Building height:** The maximum building height of any structure shall be one (1) story, or twenty-two (22) feet.

- 7.) **Setbacks:**

The concept of patio homes is to have the size of the private lot minimized and consistent with the building envelope, allowing the remainder of the project to be owned in common. The Plan proposes a minimum of 3 feet from the building footprint and

the private property line on all sides to accommodate eaves and overhangs.

- Front Yard: The front yard setback from the building footprint and the private property line shall be three (3) feet. The front of the residences shall be setback to provide a minimum of twenty (20) feet from the face of the garage and the back of the sidewalk.
- Rear Yard: The rear yard setback from the building footprint and the private property line shall be three (3) feet. The rear of the residences shall be setback a minimum of twenty-five (25) feet from the Specific Plan boundary. The rear of the residences shall be setback a minimum of 25 feet from any public street right-of-way
- Side Yard: The side yard setback from the building footprint and the private property line shall be three (3) feet. The sides of the residences shall provide for a minimum of fifteen (15) feet separation between structures.

8.) Architectural Projections: Architectural projections may encroach into said setbacks a maximum of 30 inches. Projections include architectural ornamentation including outlookers, corbels, roof overhangs, chimneys, non-structural pop-outs, plant shelves, pot shelves, shutters, etc.

9.) Signs: Signage within the Specific Plan shall be permitted as per the provisions of the Redlands Sign Code.

10.) Fences and Walls:

- A 4 foot high combination pilaster and wrought iron fence shall be provided along the westerly property line.
- A 4 foot high combination pilaster and wrought iron fence shall be provided along the top of slope/retaining wall located south of the north property line.
- A retaining wall of varying height from 3 feet to a maximum 6 feet shall be provided along the top of the slope located south of the north property line.
- A 4 foot high combination pilaster and wrought iron fence shall be provided along the top of the slope/retaining wall located west of the westerly Wabash Avenue right-of-way.
- Three (3) terraced retaining walls of varying height from 3 feet to maximum 6 feet high shall be provided along the top of the slope located west of the westerly Wabash Avenue right-of-way

- A 4 foot high combination pilaster and wrought iron fence shall be provided along the top of the slope, adjacent to the northerly Los Altos Drive right-of-way.
- A retaining wall of varying height from 2 feet to a maximum 4 feet shall be provided at the bottom of the sloping area located north of the northerly Los Altos right-of-way.
- Electronic security gates shall be constructed at the entry of the cul-de-sac street as depicted on the Tentative Tract Map to restrict public access.
- No interior fencing shall be allowed without the approval of the Home Owner's Association and the City of Redlands per Municipal Code Standards.

F. Architectural Design Standards

1.) Residential Design

The architectural theme for the project is to emulate the Tuscan "feel." Tuscan, as well as all historical Italian ways of life, have incorporated a melding of indoors and outdoors. The use of natural materials, such as stone, clay, wood, and stucco, help to create this environment. Both of the floor plans offered in this project have outdoor living areas and outdoor kitchens. These features are generous in size, but not so grand as to diminish the sense of intimacy and simplicity reflective of the Tuscan way.

Color and texture are also very important features. A natural sense of proportion and space is created by combining rough textures with smooth, light colors with dark, and rustic finishes with polished. The colors selected include rich umber, rustic red, ochre, orange, and clear yellows. Included in the textural elements are several stones for both horizontal and vertical surfaces, brick, stucco, and both rough hewn and smooth varnished woods. Wrought iron accessories are incorporated to contrast and accentuate the other materials. These include door pulls, window treatments, light fixtures and railing.

The following is a brief summary of the exterior architectural elements and finishes that are to be incorporated into the project:

- Weathered exterior plaster with subtle variations in color and texture
- Italian villa stone veneer at key design locations
- Clay tile roofing with blended colors
- Rough hewn heavy timber rafter tails, beams, lintels, and trellises

- Wood exterior and garage doors with deep, rich color and a varnished finish
- Stone pavers and textured concrete walkways and patios
- Painted trim in both rich and muted tones
- Wrought iron hardware, window accents, light fixtures, and railing
- Precast concrete and high density foam trim at selected locations
- Exterior living areas with fireplaces, benches, garden walls, planters, and trellises
- Exterior kitchens with built in barbeques, refrigerators, sinks, and service ware storage

Two plan types are proposed for the project, and are briefly summarized as follows:

Plan 1 – Plan 1 is single-story, and includes 2,695 square feet. Three bedrooms and three bathrooms are included in this floor plan. The development includes seven (7) units of this plan type.

Plan 2 – Plan 2 is also one-story, and includes 2,485 square feet. Two bedrooms and two bathrooms are offered. The development includes seven (7) units of this plan type.

As we are emulating, not imitating, Tuscan architectural design, the floor plans are designed in response to modern lifestyles. The plans are open, with large, accessible kitchens that overflow into generous family rooms. Dramatic master suites with walk in closets and inspiring baths are the secondary focus. The secondary bedrooms and study/offices are separated from the master and main living areas to further dramatize spatial interaction and create a hierarchy of space. To finish off the floor plans, three car garages with both car and golf cart garage doors are included.

The following is a brief summary of the interior architectural elements and finishes that are to be incorporated into the project:

- Smooth and textured finished walls
- Solid wood doors with deep, rich color and a varnished finish
- Fireplaces, with stone veneer, wood mantel, and precast concrete trim
- Varying ceiling heights with custom wood trim that includes crown molding, heavy timber, trusses, and soffit beams
- Casework in varying colors and finishes in kitchens, baths, dens, and wet bars
- Built in state of the art stainless steel appliances
- Combinations of granite, marble, and tile in kitchens and baths
- Oversized showers and tubs with frameless glass enclosures

- Wet bars with custom casework and built in refrigerators and ice makers

The architectural elevations and floor plans for each plan type are illustrated in Exhibits 10 through 17.

2.) Community Lounge/Wine Cellar Design

A 1,650 square foot Clubhouse consisting of a Community Lounge and Wine Cellar is proposed for the project, and will be privately owned by the residents. A Community Lounge is provided to the owners as a refreshing alternative to the standard workout facility/group meeting facility. The concept is to have a usable area in which to throw dinner parties, birthday parties, hold HOA meetings, and nearly any other informal to formal group function. The facility will have a wine cellar with private wine "lockers", which are available to the homeowners and their families.

The wine cellar will be equipped with a large dining room table (seating for 12) available for tastings or dinners. The main floor is comprised of a central stone fireplace, wet bar/lounge area, and a "living room" with oversized leather couches and chairs. The outdoor portions include trellises, bench seating, tables and chairs, outdoor cooking facilities and lush landscaping. The general concept is to have an area to gather; where the community is family in their own common "living room."

The exterior and interior architectural design features for the Community Lounge incorporate the same elements that are planned for the homes. The elevations and floor plan for the Community Lounge/Wine Cellar are shown in Exhibits 18 and 19.

3.) Landscape Design

Casalingo has been designed to be more than a place to live. It is intended to be a quiet retreat from the daily hustle that occurs outside of its decorative entry. It is to be the homeowners "special place".

Entering the site, a visitor is immediately immersed in the simple grandeur of the warmly colored textured paving and the decorative stone and wrought iron entry monumentation. Framing the views are large multi-stemmed fruitless olive trees in raised, stone veneered, planters and large canary island date palms.

Upon passing through the entry gates, there is a level of anticipation as to what design elements lie ahead. A tree lined street with shade and various flowering trees used as focal accents carry the eye from home to home.

Evergreens, including 24" box Holly Oaks and 15 gallon Brisbane Box were chosen to adorn the front yard areas of each home.

As one travels a little further in, the soft sounds of bubbling water stream through the open car window. Looking into the center median island one discovers a hidden oasis with water bubbling out of carefully grouped boulders disappearing into the stone lined river bed, to reappear at the far end of the island in another boulder massing. Benches welcome and invite you to stop, relax and stay awhile.

Parking in the visitors parking area, one finds a unique clubhouse for the homeowner, an extension of their own homes so to speak. The rear patios have a trellis type shade structure, seat walls, picnic tables and a large outdoor barbeque for entertaining.

The plant materials found throughout the site echo the Tuscan feel without mimicking it. The trees have been chosen for their suitability to the Redlands climate, to provide shade and to frame the valuable views found on the site. The shrubs and groundcovers have been chosen to provide a variety of colors, textures, shapes and sizes. Bougainvilleas have been used for mass splashes of color in areas where pedestrian traffic will not occur. The proposed terrace walls will be planted to provide a "living wall" of colors and textures. The tree groupings along Los Altos Drive have been carefully positioned to frame views from adjoining neighbor's homes across the street. Final placement of the trees will be made in the field with careful consideration of the valuable viewshed from these properties.

The proposed landscaping for the project is illustrated in Exhibit 20.

G. Off-street Parking

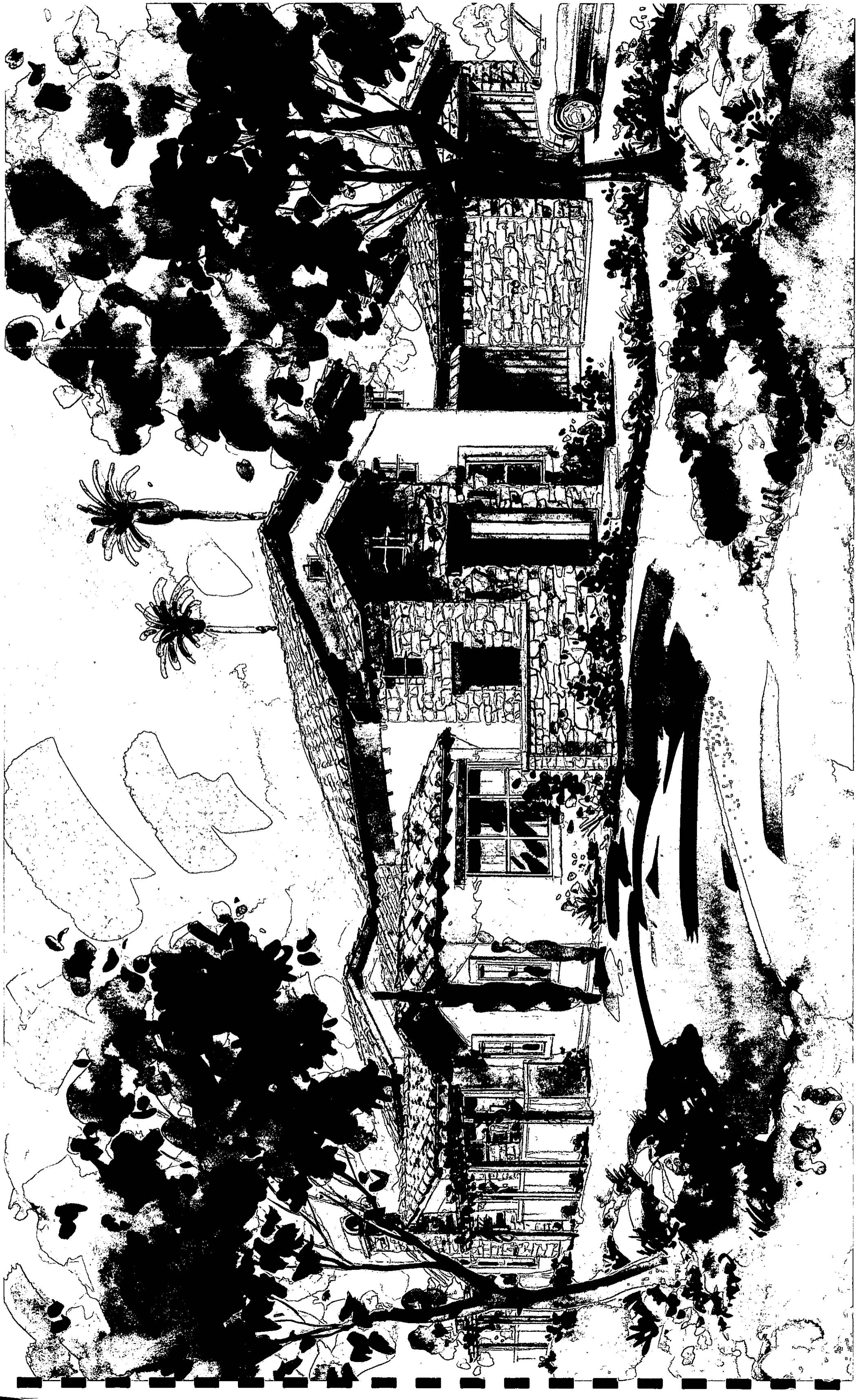
The project shall provide for the following minimum parking:

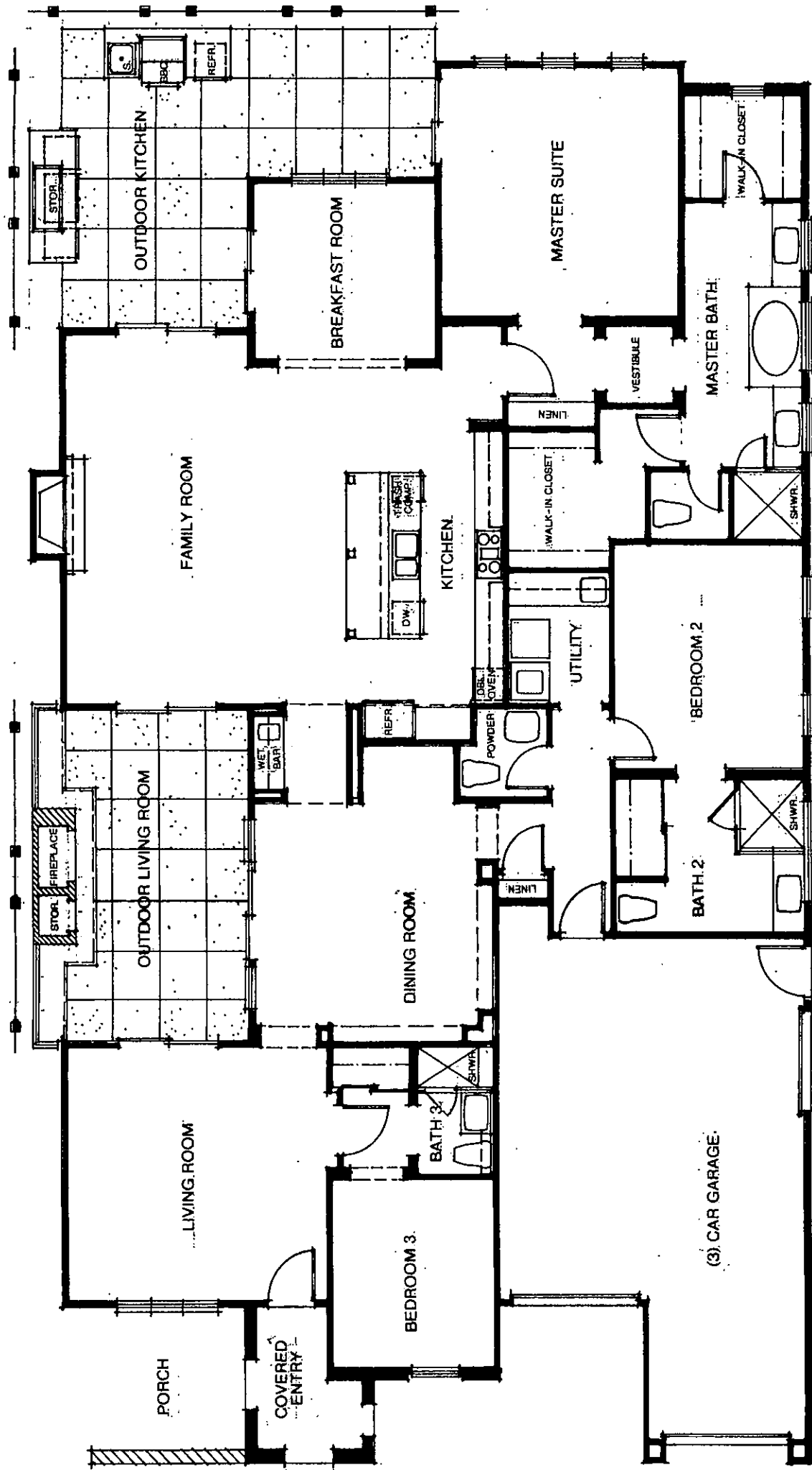
- 1.) Each residence shall provide for two covered parking spaces within an attached, enclosed garage. (The Plan provides for one three-car garage for each residence.)
- 2.) Visitor parking shall be provided at a minimum ratio of one (1) space per two (2) dwelling units. A minimum of seven (7) guest parking spaces shall be provided. (The plan provides for fourteen (14) guest parking spaces.) Each street parking space shall be a minimum of eight (8) feet wide and twenty-five (25) feet long. Each off-street parking space shall have a minimum of nine (9) feet in width and nineteen (19) feet in depth. Stall depths may be reduced up to one foot where the parking space is adjacent to a six-foot or wider sidewalk.

No parking shall be permitted within the private roadway except for designated striped spaces. Visitor parking shall be allowed within the driveways, no encroachment over the sidewalk shall be allowed. A minimum of one disabled parking space shall be provided adjacent to the Community Lounge.

3.) No outside parking of vehicles that are incapable of movement or outside storage of recreation vehicles including campers, trailers, boats and motor homes shall be allowed.

H. Grading – The provisions of the Redlands Grading Ordinance shall apply, except that grading shall be the minimum necessary to provide for a building site.





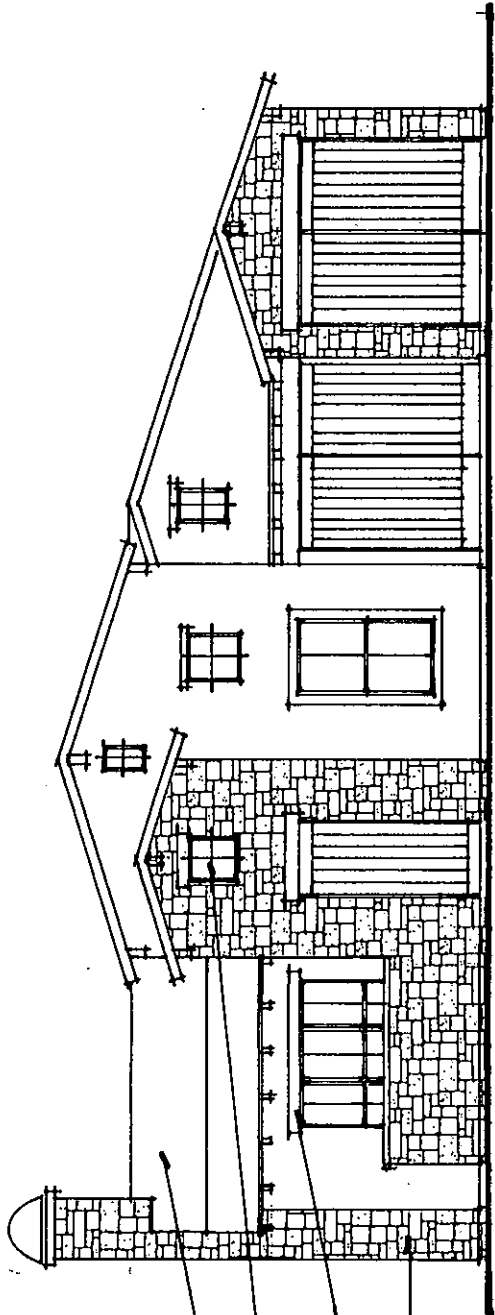
FLOOR PLAN

1/4" = 1'-0"

casalingo

FLOOR PLAN-PLAN 1
EXHIBIT 10

gardner construction & development, inc.
555 cajon street, suite 'g'
redlands, ca 92373
(909) 748-7700

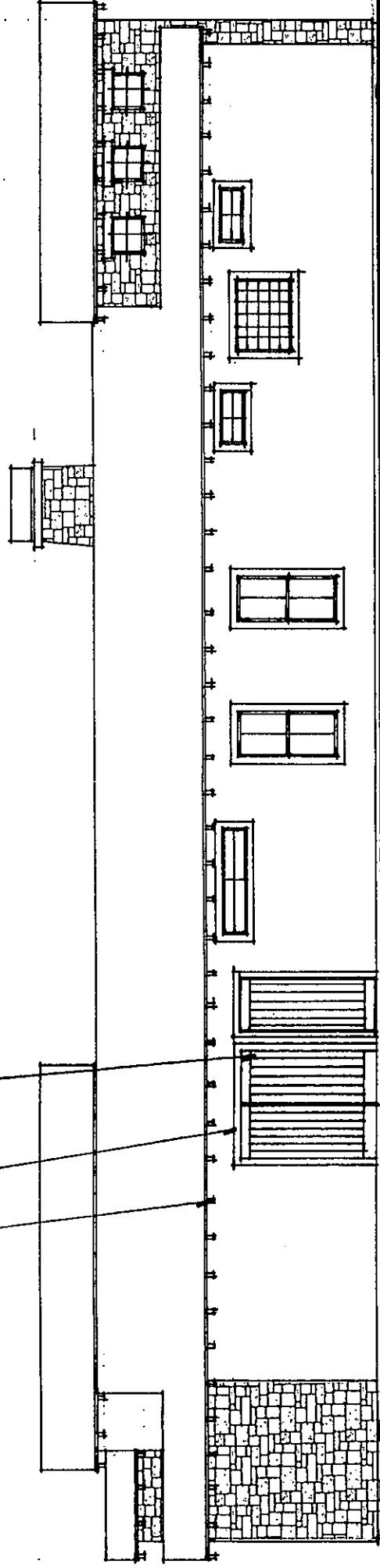


CLAY ROOF TILE W/ BLENDED COLOR
 WROUGHT IRON ACCENT
 WOOD LINTEL
 STONE VENEER

WOOD GARAGE DOOR
 FOAM TRIM
 EXPOSED RAFTER TAILS

FRONT ELEVATION

1/4"=1'-0"



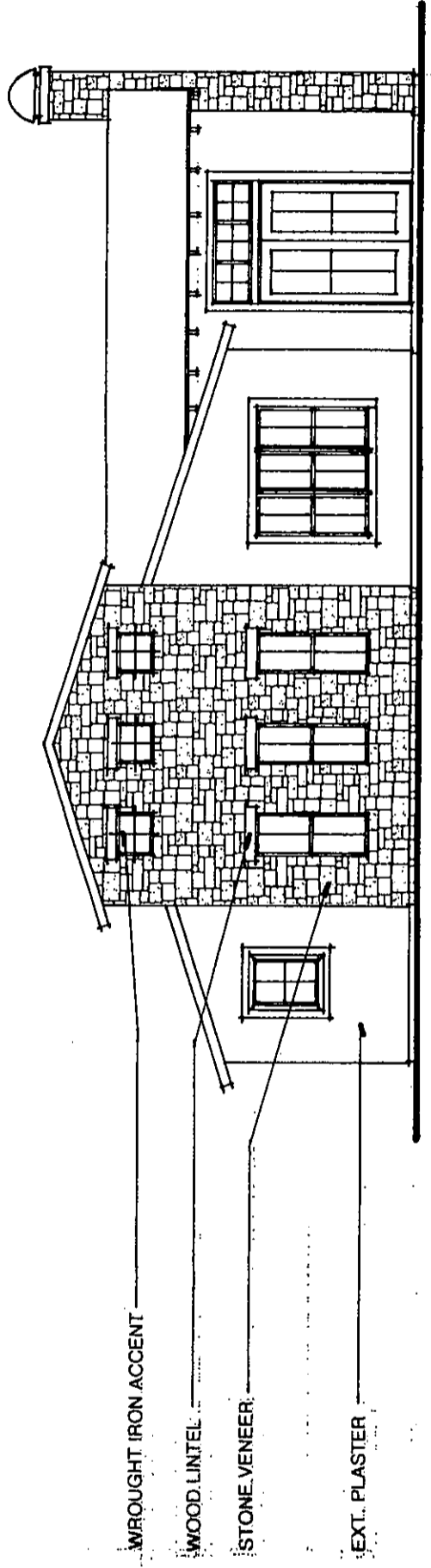
RIGHT SIDE ELEVATION

1/4"=1'-0"

casalingo

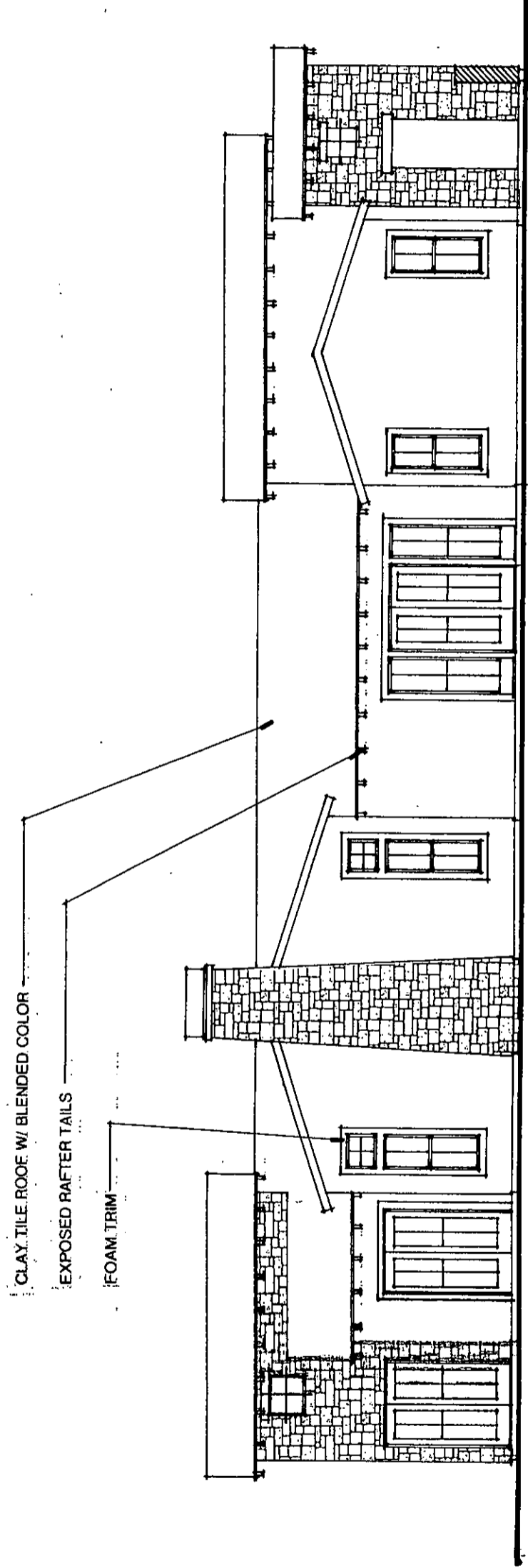
ELEVATIONS-PLAN1
 EXHIBIT 11

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 555 cajon street, suite 'g'
 redlands, ca 92373
 (909) 748-7700



WROUGHT IRON ACCENT
 WOOD LINTEL
 STONE VENEER
 EXT. PLASTER

REAR ELEVATION
 1/4\"/>



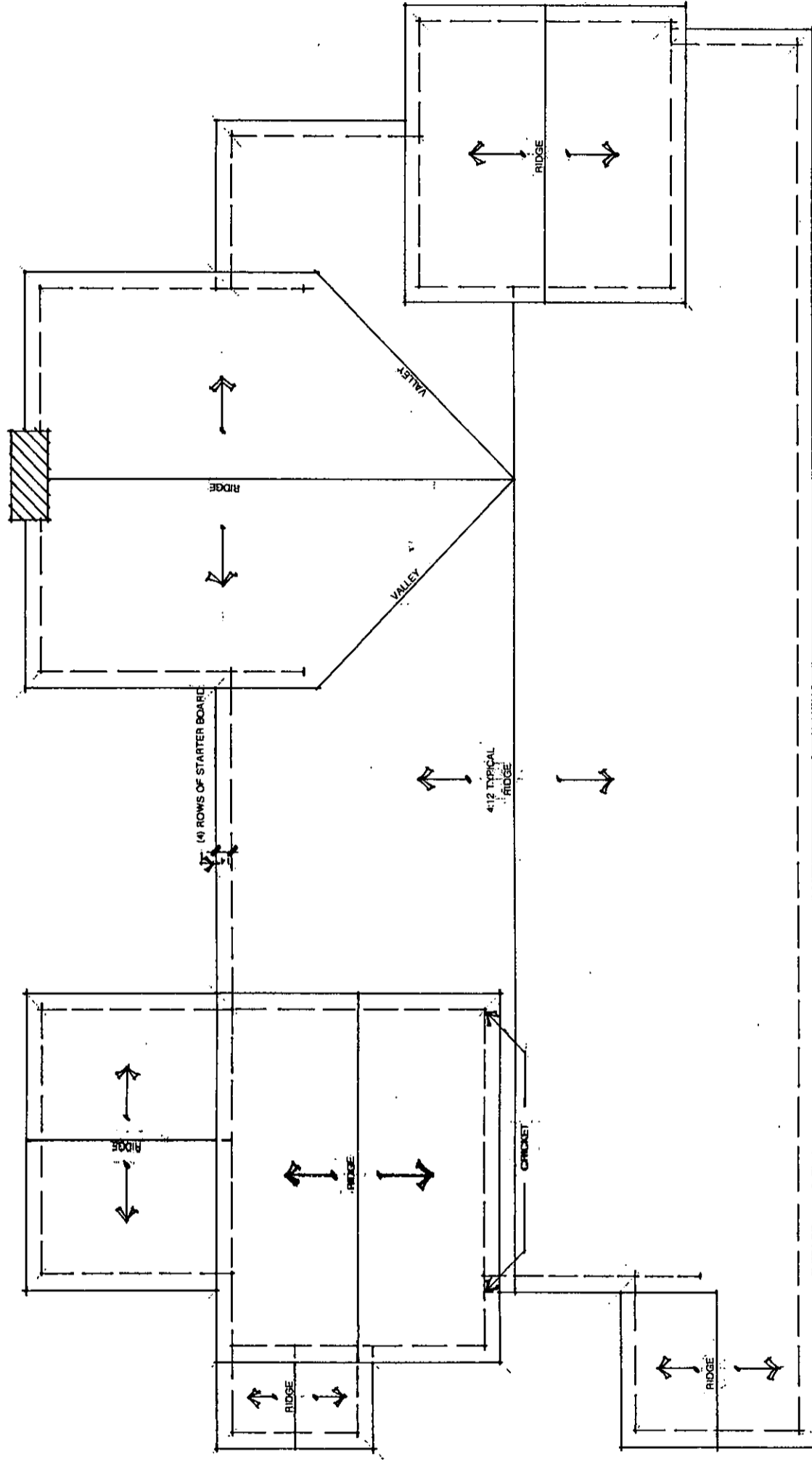
CLAY TILE ROOF W/ BLENDED COLOR
 EXPOSED RAFTER TAILS
 FOAM TRIM

LEFT SIDE ELEVATION
 1/4\"/>

casalingo

ELEVATIONS-PLAN 1
 EXHIBIT 12

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 555 cajon street, suite 'g'
 redlands, ca 92373
 (909) 748-7700



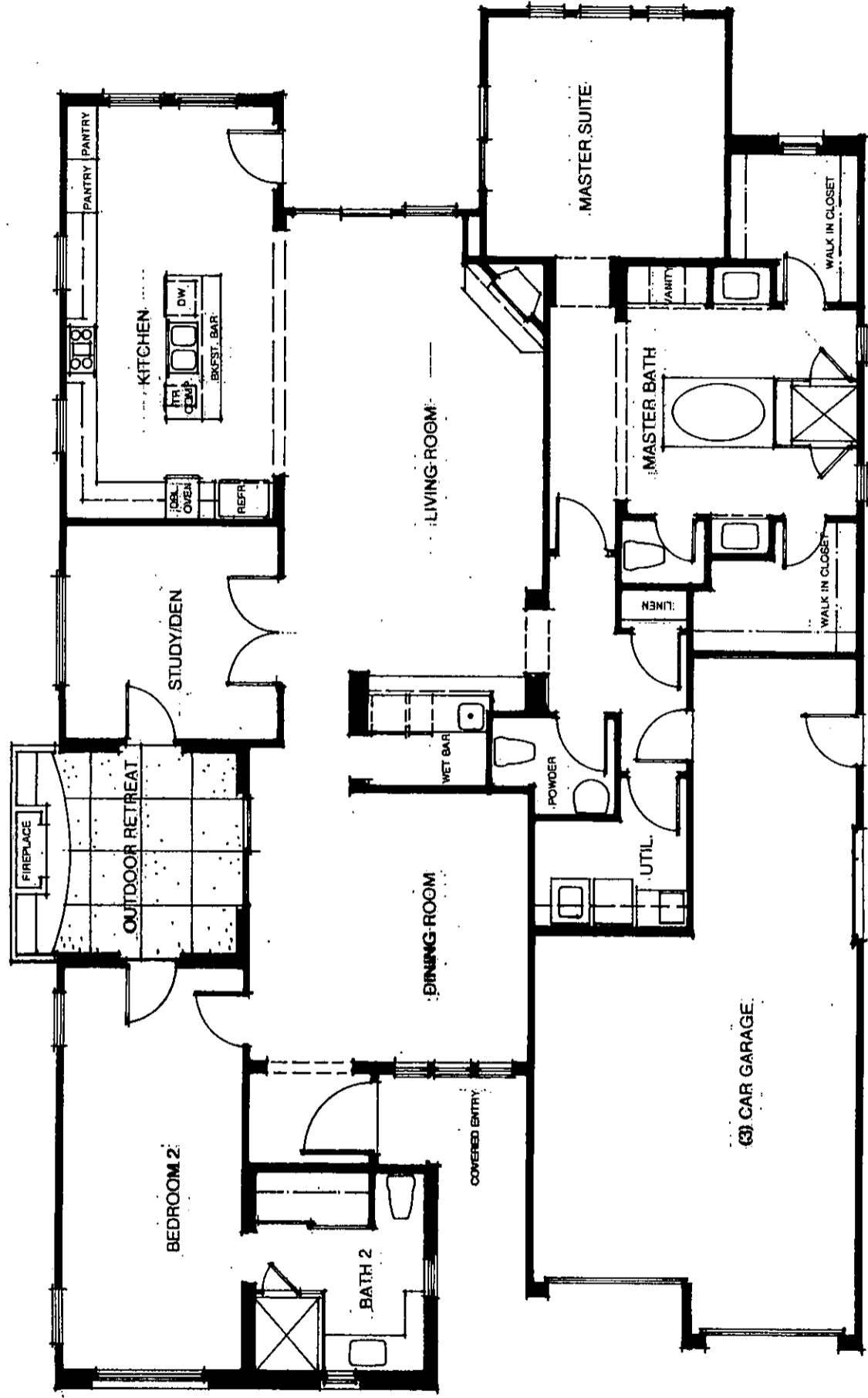
ROOF PLAN: 1/4"=1'-0"

casalingo

ROOF PLAN-PLAN 1
EXHIBIT 13

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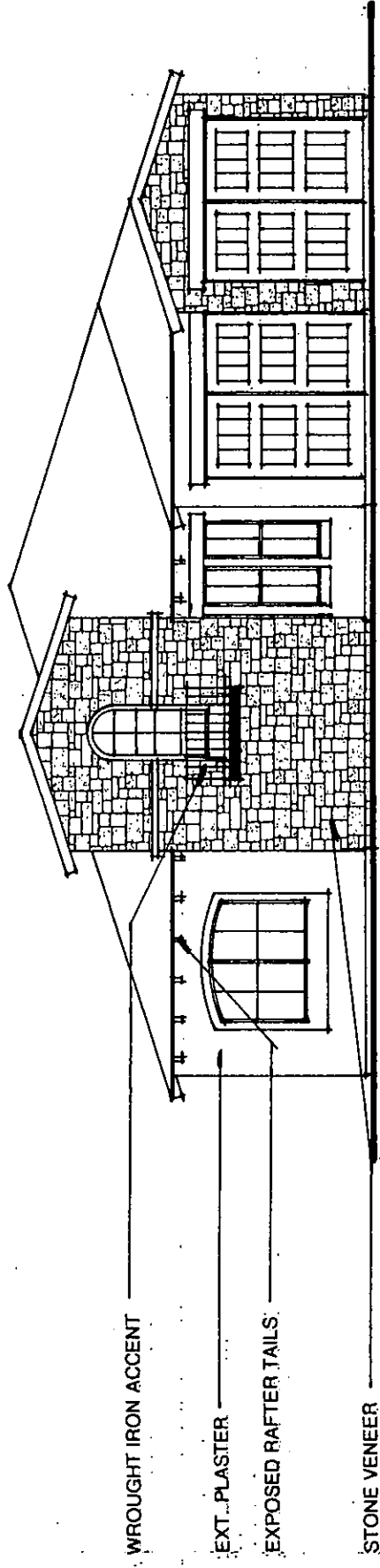
FLOOR PLAN

1/4"=1'-0"

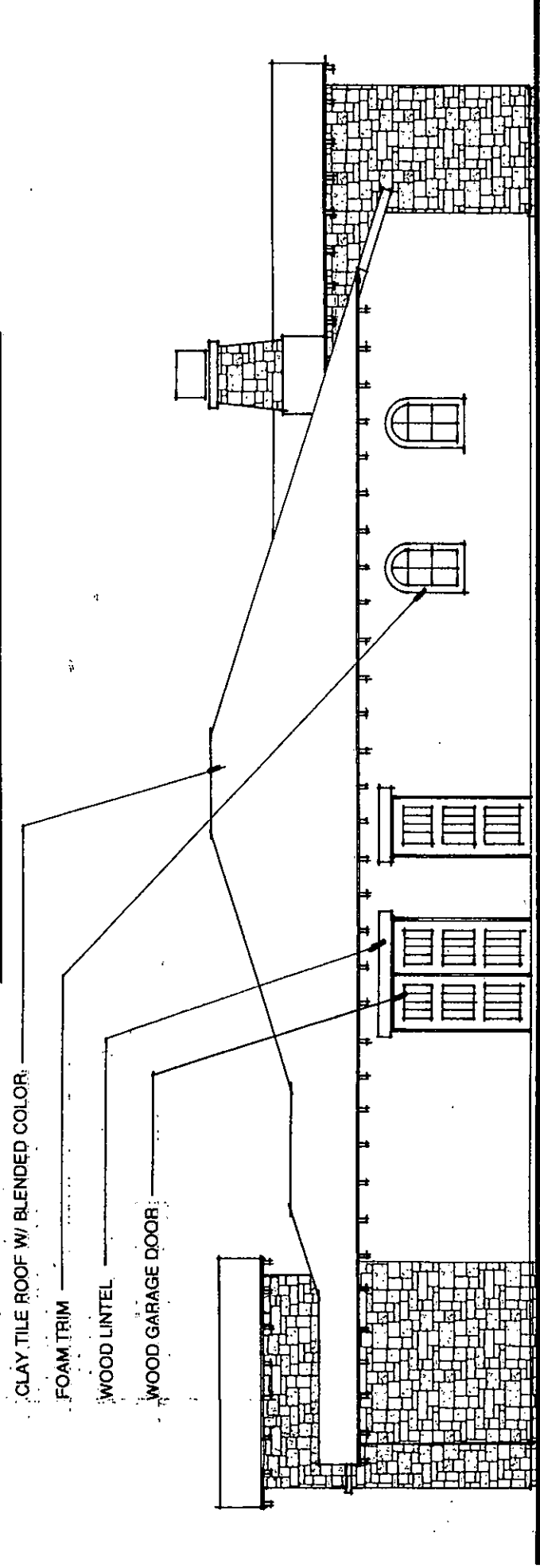
casalingo

FLOOR PLAN-PLAN 2
EXHIBIT 14

gardner construction & development, inc.
555 caljon street, suite 9
redlands, ca 92373
(909) 748-7700



FRONT ELEVATION
1/4"=1'-0"

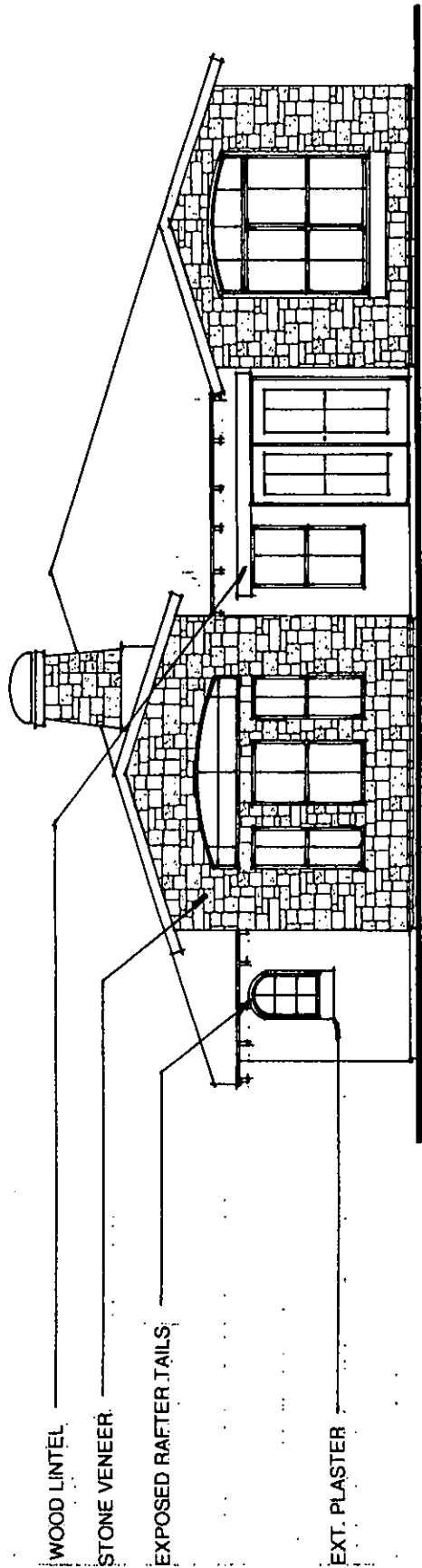


RIGHT SIDE ELEVATION:
1/4"=1'-0"

casalingo

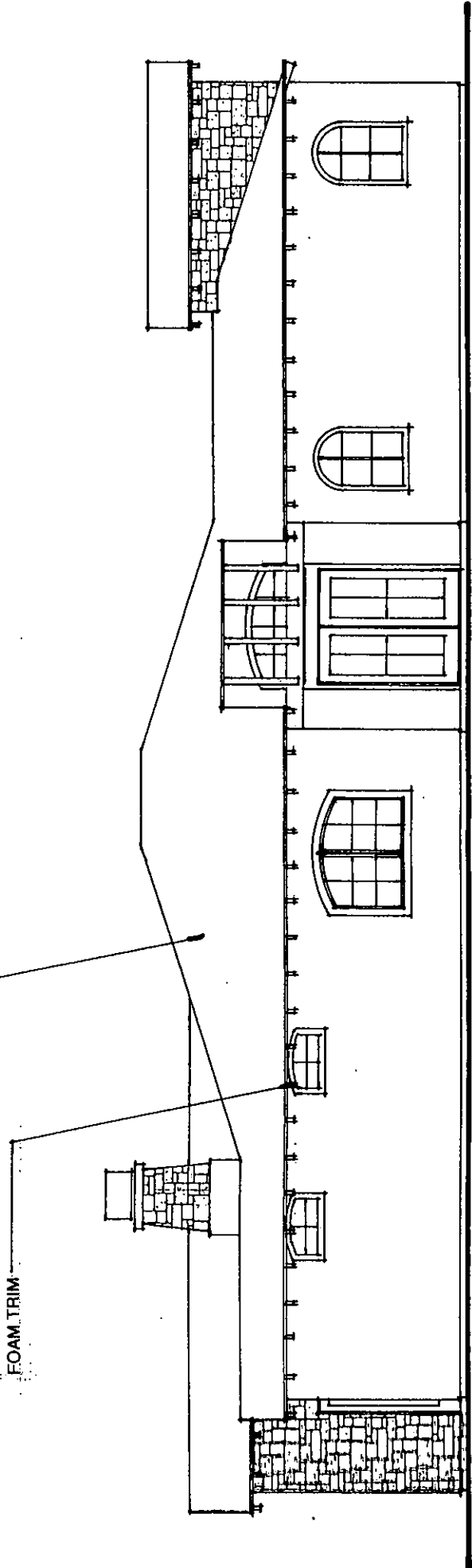
ELEVATIONS-PLAN 2
EXHIBIT 15

Gardner Construction & Development, Inc.
555 Cajon Street, Suite 'g'
Redlands, CA 92373
(909) 748-7700



WOOD LINTEL
 STONE VENEER
 EXPOSED RAFTER TAILS
 EXT. PLASTER

CLAY TILE ROOF W/ BLENDED COLOR
 REAR ELEVATION
 1/4"=1'-0"



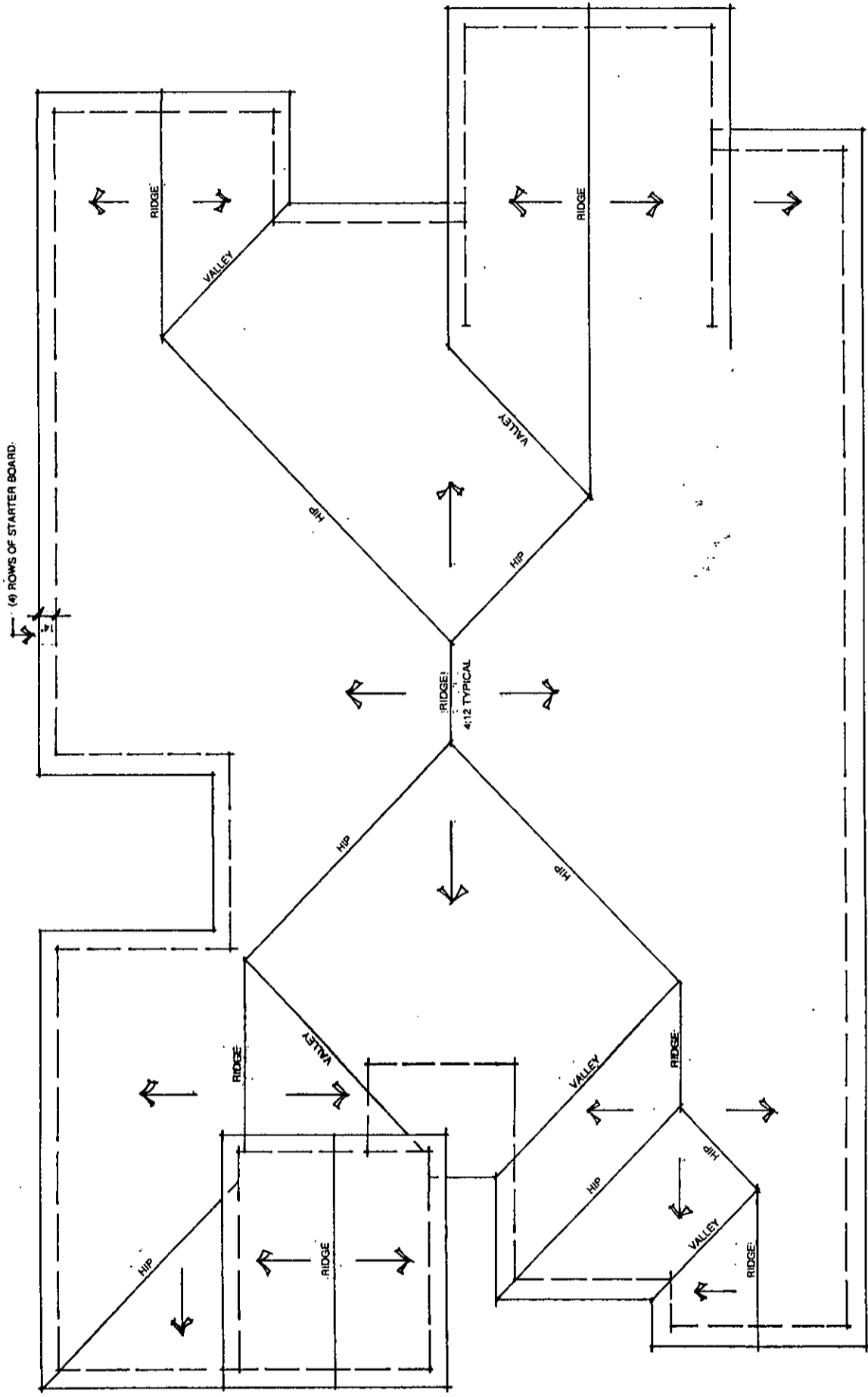
FOAM TRIM

LEFT SIDE ELEVATION
 1/4"=1'-0"

casalingo

ELEVATIONS-PLAN 2
 EXHIBIT 16

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 555 cajon street, suite 'g'
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ROOF PLAN

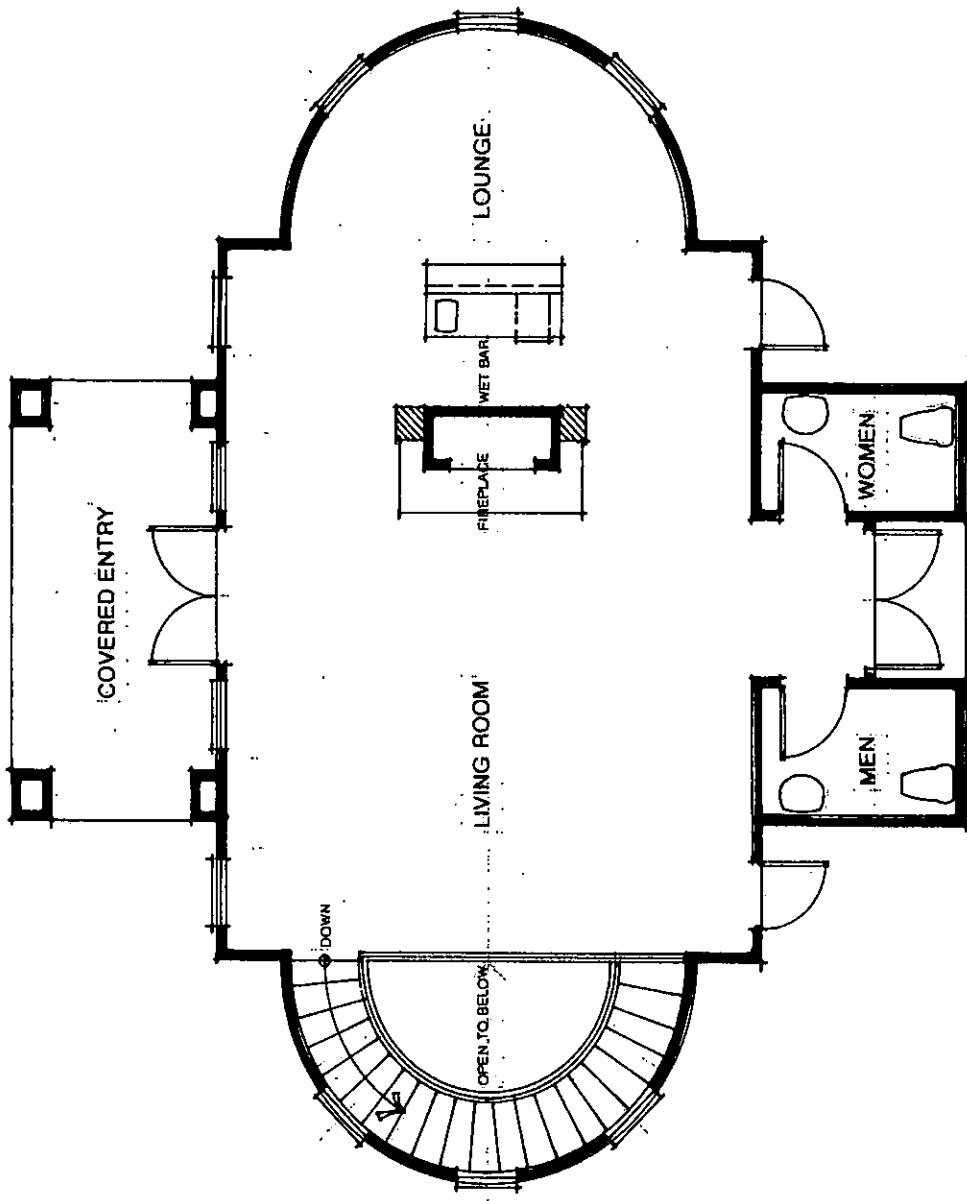
1/4"=1'-0"

casalingo

ROOF PLAN-PLAN 2
EXHIBIT 17

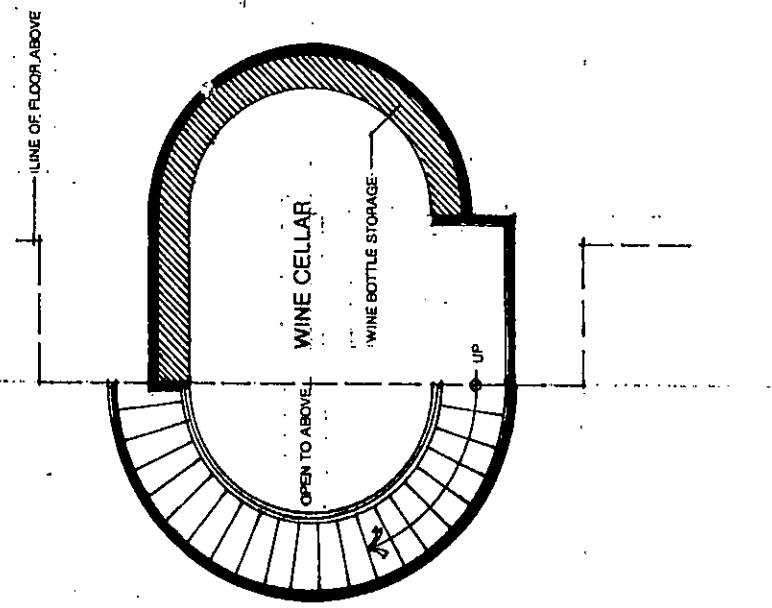
Gardner Construction & Development, Inc.
555 Cajon Street, Suite 'g'
Redlands, CA 92373
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MAIN FLOOR PLAN

1/4"=1'-0"



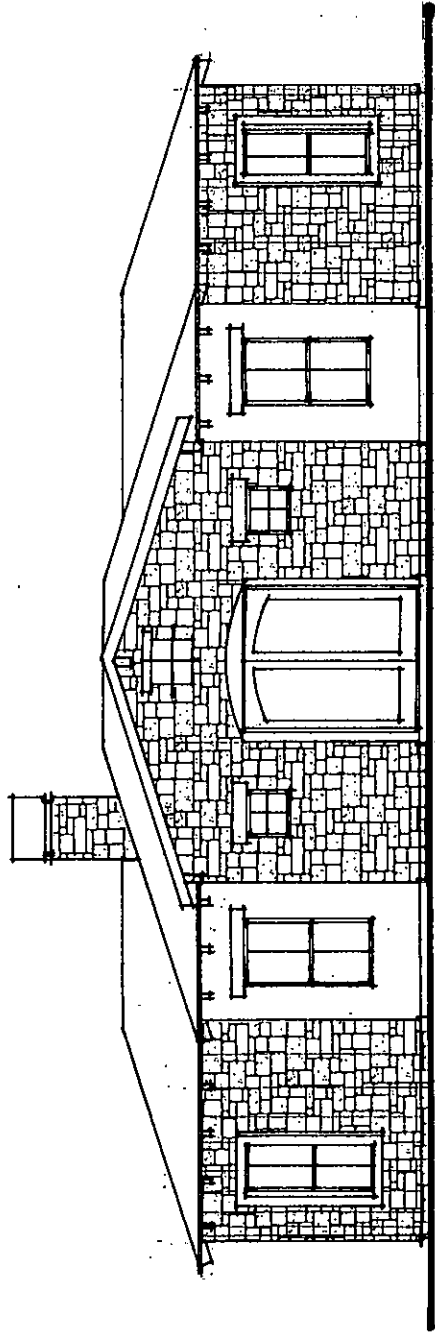
CELLAR PLAN

1/4"=1'-0"

FLOOR PLAN - COMMUNITY LOUNGE / WINE CELLAR
EXHIBIT 18

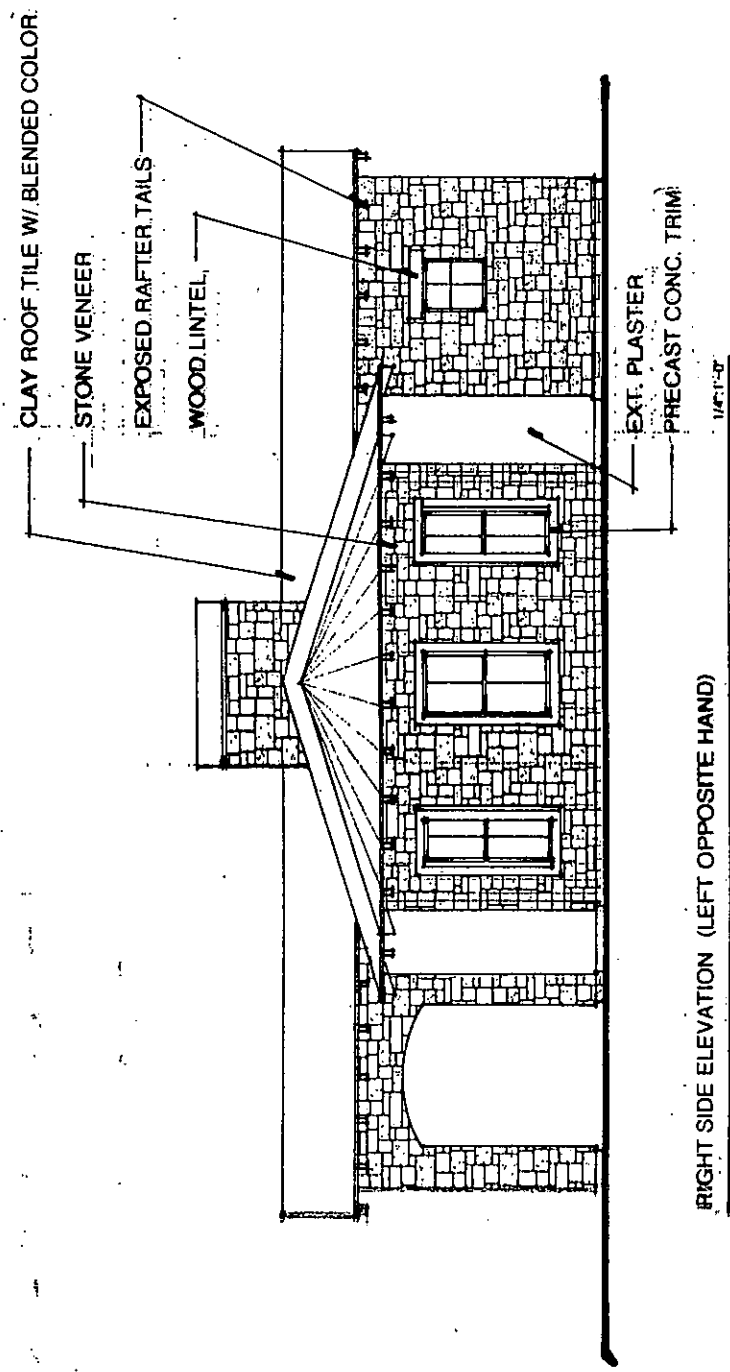
casalingo

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555 cajon street, suite 'g'
redlands, ca 92373
(909) 748-7700



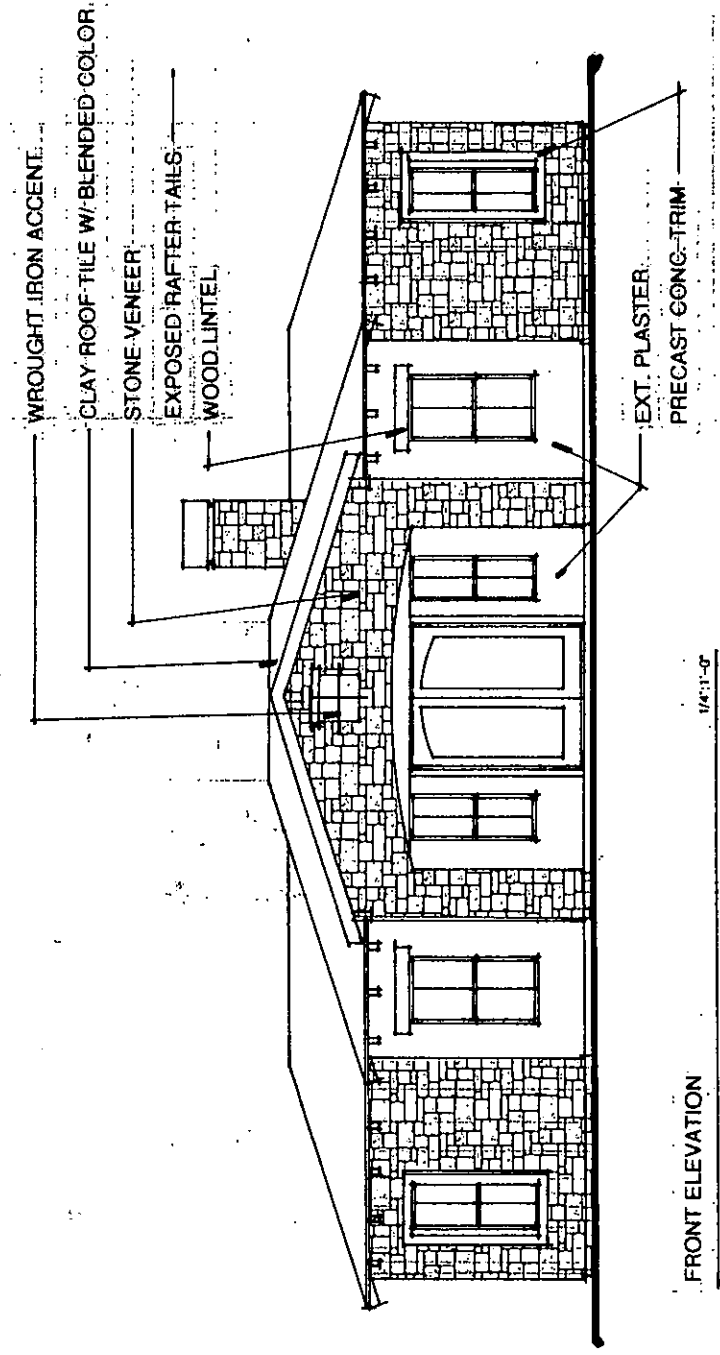
REAR ELEVATION

1/4"=1'-0"



RIGHT SIDE ELEVATION (LEFT OPPOSITE HAND)

1/4"=1'-0"



FRONT ELEVATION

1/4"=1'-0"

casalingo

ELEVATIONS - COMMUNITY LOUNGE / WINE CELLAR
EXHIBIT 19

Gardner Construction & Development, Inc.
555 Cajon Street, Suite 9
Redlands, CA 92373
(909) 748-7700

IV. PROGRAM OF IMPLEMENTATION MEASURES

The project is not expected to significantly impact or result in a need for new public services provided by the City of Redlands, the Redlands Unified School District, or other governmental agencies. Any impacts associated with this development shall be mitigated with the payment of established development impact and school fees.

The City's Development Fee Policy is outlined in Principle One under Section 1A.0 (Principles of Managed Development) of the General Plan. Principle One states that "the cost of infrastructure required to mitigate the effects of new development shall be paid by that new development." The City of Redlands has established water, sewer, and solid waste development impact fees for single family residential developments that must be paid by the developer to cover the cost of the new public infrastructure.

Required public improvements for the project including water, sewer, and street improvements will be installed with the development of the subdivision, in accordance with the State Subdivision Map Act, the City's Subdivision Ordinance, the Subdivision Improvement Agreement for the project, and prior to final approval of a building permit for any home (up to three model homes). In addition, to ensure construction of the required public improvements, the subdivision will be required to furnish improvements security, such as a bond, as a guarantee of performance.

The project will acquire approval from the City Council for the architectural design of the project through the Residential Development Allocation (RDA) process upon approval of the Tentative Tract Map and Specific Plan.

A Homeowner's Association shall be established through Conditions, Covenants, and Restrictions (CC&R's) for the perpetual maintenance of private streets, landscaping, and other common areas. The CC&R's shall be reviewed and approved by the City of Redlands prior to recordation.

Tract No. 15589, M.B. 258/68-75
17.8 ac. / 51 lots =
2.87 du/ac.
Approved 1994
CUP 603/TT 15589
Zoning: PRD/R-E

