

REQUEST FOR HISTORIC AND SCENIC PRESERVATION COMMISSION ACTION

**V.A. DAVID KELLY, APPLICANT**

**PUBLIC HEARING** to consider **Certificate of Appropriateness No. 642** – A request for a façade remodel and exterior improvements to an existing building located at 19 North Fifth Street (formerly Oscar’s Mexican Restaurant). The existing building shares the 5,900 square-foot parcel (APN: 0171-121-10-0000) with Historic Resource No. 33 located at 24 E. State Street. The project qualifies for exemption from environmental review in accordance with Section 15331 (Historical Resource Restoration/Rehabilitation) and Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines.

HISTORIC AND SCENIC PRESERVATION MEETING: February 3, 2022

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Planner: Sean Reilly, Senior Planner

**PROCEDURE FOR PUBLIC HEARING**

1. Chairperson declares the meeting open as a public hearing.
2. Chairperson calls upon staff for report.
3. Chairperson calls for questions/comments from members of the Commission.
4. Chairperson calls upon applicant, or its representative, for comments/testimony.
5. Chairperson calls for comments/questions/testimony from members of the public (3 minutes per speaker).
6. Chairperson calls upon the applicant, or representative, for rebuttal comments (5 minutes).
7. Chairperson closes the public hearing.
8. Commission considers the motion(s) and votes.

**SYNOPSIS**

1. Historic Designation: The parcel that the subject building is located on contains the Buster Building, which is Historic Resource No. 33 located at 24-30 E. State Street. The subject building was constructed on the same parcel to the rear of the Buster Building fronting on N. Fifth Street.
2. Existing Land Use: The site is currently developed with two commercial/retail buildings facing State Street and a vacant restaurant building (formerly Oscar’s Mexican Food) facing N. Fifth Street.
3. Historic and Scenic Preservation Commission submittal dates:  
(A) Date Submitted: October 27, 2021

- |     |   |                  |
|-----|---|------------------|
| (B) | Date Accepted as Complete:                              | January 10, 2022 |
| (C) | Historic and Scenic Preservation<br>Commission Meeting: | February 3, 2022 |

4. Attachments:

- (A) Location Map
- (B) Architectural plans
- (C) Resolution No. 2022-006, with Conditions of Approval

## PROPOSAL

The applicant is proposing to renovate the façade of an existing structure located at 19 N. Fifth Street in downtown Redlands (Attachment A - Location Map). This parcel also contains Historic Resource No. 33, the Buster Building located at 24-30 E. State Street which is one of the oldest buildings still standing in the downtown area of Redlands. The subject site is a rectangular corner lot with alley access on the south side. The adjacent Buster building is oriented to the north fronting on Orange Street. The proposed project fronts onto N. Fifth Street, located behind the Buster Building and although the buildings are attached, there is no internal connectivity.

The proposal includes a remodel of the exterior of the building at 19 N. Fifth Street on both the Fifth Street and alley facing frontages as shown on the project plans and elevations included as Attachment B. Modifications to the exterior are listed below.

### Southern Elevation (Alley Facing)

- Outdoor seating area enclosed by a 42-inch-high guard rail painted Pantone “Shale) with small planters.
- New aluminum storefront door accessing the outdoor seating area.
- New aluminum storefront window facing the alley
- Existing masonry will remain in place

### Eastern Elevation (N. Fifth Street Facing)

- Replacement of the existing exterior wall
- Plaster wall finish painted Pantone “Bellini”
- Decorative formed metal parapet cap
- Five semi-circle/arched transom windows
- Two 8’ x 9’ bi-fold glass patio doors
- Aluminum Storefront Doors
- Decorative plaster arches and accents
- Outdoor seating area enclosed by a 42-inch-high guard rail painted Pantone “Shale”) with small planters.

## **BACKGROUND**

The parcel, as a whole, was designated as Historic Resource No. 33 in 1988. The focus of the Historic Resource Designation was the front portion of the parcel, containing the Buster building. The adjacent Buster building was originally two separate brick buildings, located at 24-26 East State Street and at 28-30 East State Street, constructed in 1896 and 1887, respectively. These buildings are the original buildings on the parcel. In 1900, these two buildings were connected at the second level into one building.

The Buster building's exterior has been remodeled several times and in 1987, the brick exterior was stuccoed over. The staff report for the historic designation of the site notes that this was not recommended as a historic property based upon its appearance, which had been repeatedly changed and was no longer original. Instead, the building was designated based upon its status as the oldest building in downtown, as well as its association with the Scipio Craig, the first editor of the Citrograph newspaper. The first occupant of the building at 28 E State Street was the newspaper, which operated there for two years. The Citrograph was the first newspaper in Redlands and it still operates today. Scipio Craig is noted as a person who significantly contributed to the culture, history and development of the City of Redlands. He is important to Redlands history because of his early enthusiastic promotion of the City. He built the Citrograph into one of the premier newspapers in Southern California. It was a major source of information on citrus, horticulture, water, and tourist information. He was active in three state press associations and held the presidency of two of them.

The portion of the lot that is developed with subject structure, under review of this Certificate of Appropriateness application, includes a single-story building that was most recently occupied by Oscar's Mexican restaurant. The building is currently vacant and adjoins the Buster building, to the south, on the same parcel. This portion of the parcel appears to have been developed between 1900 and 1908, based on Sanborn Fire Insurance maps of the site. In 1981, (prior to the parcel's historic designation) a major façade remodel was completed for Oscar's Mexican restaurant, which substantially altered the façade of this portion of the building to reflect that of the restaurant's theme. The result of this remodel is the existing façade that is present today.

## **ANALYSIS**

### **A) Zoning**

The property is located within the C-3 (General Commercial) District. The purpose of the C-3 zone is to provide a central location, accessible from all areas of the city and surrounding areas, for the purchase of primary shoppers' goods. Restaurants and eating establishments are permitted uses in this zone. The scope of work includes a

façade remodel of an existing restaurant building and the proposed future use of the building is consistent with the permitted uses in the zone. There are no changes to the footprint of the building, as such, development standards such as lot coverage, and setbacks remain unchanged and will not alter the site's conformity with the underlying zoning district. The site, as designed, is compatible with development standards of the C-3 District.

#### B) Secretary of the Interior Standards and Guidelines

As a Certified Local Government, the City of Redlands implements the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Building (hereinafter, "Secretary of Interior Standards") when applicable and appropriate. Although the subject structure at 19 N. Fifth Street is not mentioned in the historic designation documents for the parcel, the adjacent structure to which it is connected and located on the same parcel as, the Buster Building, at 24-30 East State Street, is Historic Landmark No. 33 on the City's list of historic resources.

The National Park Service has a Preservation Brief on "Rehabilitating Historic Storefronts" (<https://www.nps.gov/tps/how-to-preserve/briefs/11-storefronts.htm>) that is applicable and appropriate to assist staff's evaluation of the proposal in this case. A portion of this document discusses designing replacement storefronts and states:

*"If the original or significant storefront no longer exists or is too deteriorated to save, undertake a contemporary design which is compatible with the rest of the building in scale, design, materials, color and texture..."*

*"Where an original or significant storefront no longer exists and no evidence exists to document its early appearance, it is generally preferable to undertake a contemporary design that retains the commercial "flavor" of the building. The new storefront design should not draw attention away from the historic building with its detailing but rather should respect the existing historic character of the overall building."*

*"A new design that copies traditional details or features from neighboring buildings or other structures of the period may give the building a historical appearance which blends in with its neighbors but which never, in fact, existed. For this reason, use of conjectural designs, even if based on similar buildings elsewhere in the neighborhood or the availability of different architectural elements from other buildings or structures, is generally not recommended."*

The Secretary of the Interior's Guidelines for Designing Replacement Storefronts as well as the project's consistency with these guidelines are listed below.

1. Scale: Respect the scale and proportion of the existing building in the new storefront design.

The existing building is 16 feet tall. The remodeled façade as proposed does not increase the height of the structure or the footprint of the building maintaining the existing scale and relationship to the Buster building and the original construction.

2. Materials: Select construction materials that are appropriate to the storefronts; wood, cast iron, and glass are usually more appropriate replacement materials than masonry which tends to give a massive appearance.

The project proposes to use a plaster wall finish that is similar to the stucco of the adjacent buster building and includes metal window frames, and several glass windows. The existing exterior masonry on the alley facing side of the building will remain in place.

3. Cornice: Respect the horizontal separation between the storefront and the upper stories. A cornice or fascia board traditionally helped contain the store's sign.

The building does not have an upper story, therefore this portion of this guideline does not apply. The existing façade of the building includes a sign band area, which was created in the 1981 remodel. The proposed façade maintains an open space above the arched windows that will serve as a future sign location.

4. Frame: Maintain the historic planar relationship of the storefront to the facade of the building and the streetscape (if appropriate). Most storefront frames are generally composed of horizontal and vertical elements.

The true historic appearance of the building is unknown to staff. As modified in 1981, the façade included little variation in depth and no roofline projection. The entry doors were recessed into an archway and awnings were included above arched windows. As proposed, the facade will not include significant projections. All of the windows and doors are topped with decorative plaster arches and arched, semicircle windows, providing vertical design elements without changing the roofline. Two large windows on the Fifth Street side of the building are large bifold doors which can be opened up to the interior of the building, which will create the appearance of additional depth.

5. Entrances: Differentiate the primary retail entrance from the secondary access to

upper floors. In order to meet current code requirements, out-swinging doors generally must be recessed. Entrances should be placed where there were entrances historically, especially when echoed by architectural detailing (a pediment or projecting bay) on the upper stories.

The building does not contain an upper floor and all doorways will be required to meet the current building code. The original location of the entrances to the building are unknown. The proposed remodel adds a new door to the south of the existing doorway. In the location of the existing doorway, a new 8-foot wide bifold door is proposed which will provide access to the proposed patio seating area. Any construction or use of outdoor patio area would be subject to receiving approval of separate permits or agreements for activities occurring in the public right-of-way, and this is reflected in the conditions of approval.

6. Windows: The storefront generally should be as transparent as possible. Use of glass in doors, transoms, and display areas allows for visibility into and out of the store.

The proposed restaurant façade includes ground level windows, large bifold doors and arched transom windows over the main windows and doors. The proposed windows include two large bifold doors which will allow for visibility into and out of the restaurant when opened. On the alley side of the restaurant, the applicant is proposing a new glass storefront door as well as the placement of a new window facing the alley.

7. Secondary Design Elements: Keep the treatment of secondary design elements such as graphics and awnings as simple as possible in order to avoid visual clutter to the building and its streetscape.

No graphics or awnings are currently proposed. Secondary design elements that should be considered are the two outdoor seating areas, which would require approval of separate permits and use agreements, per conditions of approval. While these seating areas are not structural in nature, they do present changes to the outward appearance of the building and the streetscape. As proposed, the outdoor seating areas would be delineated by a 42-inch metal guardrail and small planters. These planters and guard rails are relatively simple in appearance and add some visual interest to the streetscape.

In relation to the Secretary of the Interior Standards for Designing Replacement Storefronts, the project is generally consistent. The original facade no longer exists and the original design is not documented. The applicant is proposing a contemporary design which is compatible, yet differentiated from the adjacent Buster building as well as others in the immediate area and does not propose conjectural features or include

excessive detail, which could detract from or draw attention from the primary resource on the property which fronts onto E. State Street.

#### C) City of Redlands Historic and Scenic Preservation Design Manual

The project will be consistent with the City's Historic and Scenic Preservation Design Manual. The proposed rehabilitation project will not alter or permanently remove any of the characteristic features of the architectural style of the historic resource present on the property. All improvements will be located to the rear of the historic structures and only be partially visible from visible from State Street. The view of the historic resource from State Street would be unimpaired and unchanged, as none of the improvements will block the resource from view and all changes are proposed to be located on Fifth Street to the rear of the designated structure. The design of the new facade uses similar stucco materials and façade treatments to what is currently on the Buster Building, while also differentiating the new portion from the existing resource.

#### D) Summary

The proposed rehabilitation project, with the incorporation of standard conditions of approval, will not adversely affect or change the historical resource, nor its context. The scope of work is consistent with the Redlands Municipal Code, Secretary of the Interior's Standards, and the City's Historic and Scenic Preservation Manual, and the Citywide Context Statement.

### **ENVIRONMENTAL REVIEW**

The proposed project is Class 3 exempt from the requirements of the California Environmental Quality Act's (CEQA) guidelines pursuant to Section 15331 (Historical Resource Restoration/Rehabilitation) and Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines.

### **STAFF RECOMMENDATION**

Staff recommends that the Historic and Scenic Preservation Commission approve Certificate of Appropriateness No. 642, subject to the recommended conditions of approval.

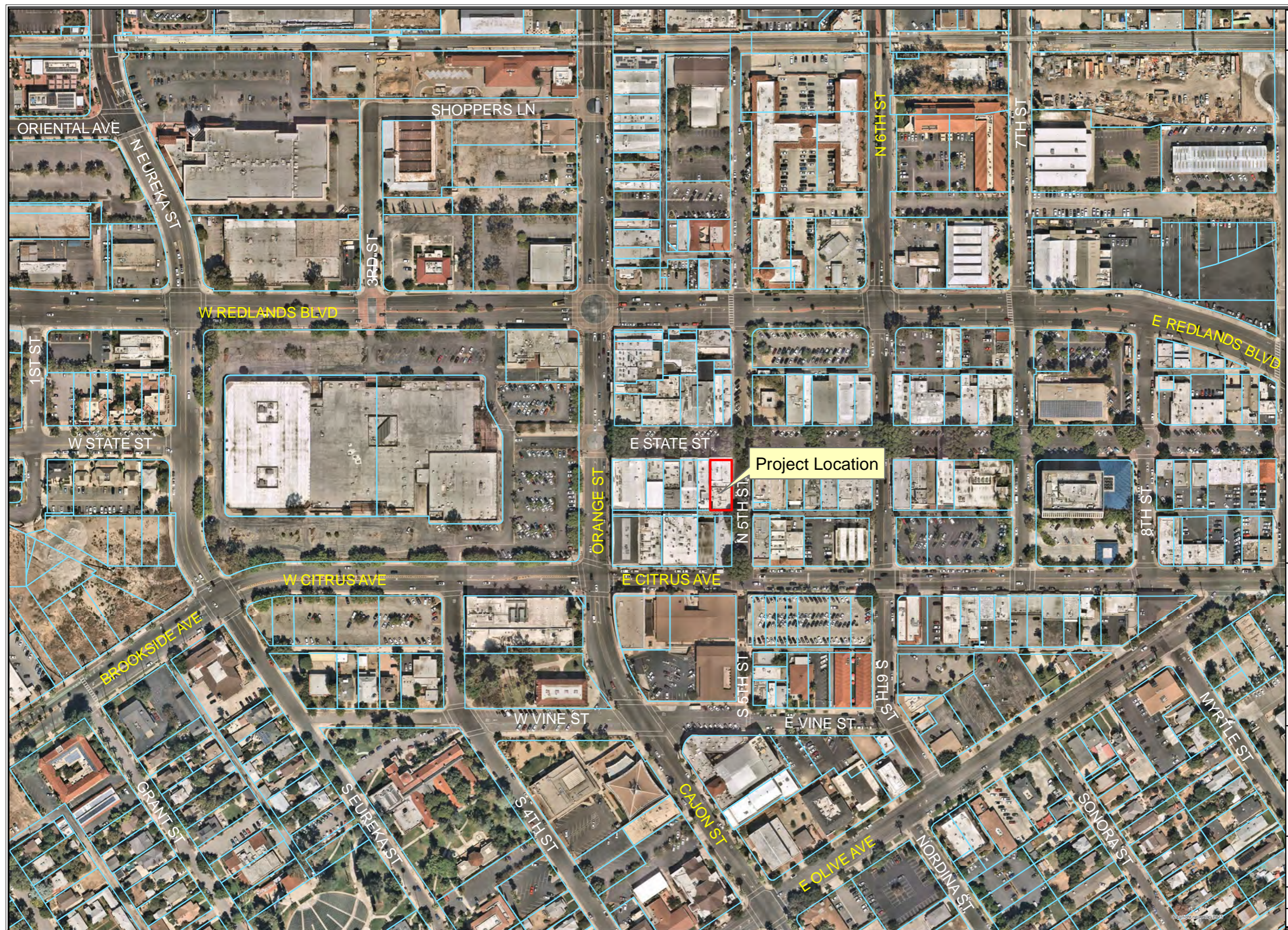
### **MOTION**

If the Historic and Scenic Preservation Commission deems it appropriate, staff recommends the following motion:

"I move that the Historic and Scenic Preservation Commission adopt Resolution No. 2022-06, finding that the project is exempt from further environmental review pursuant to Section 15331 (Historical Resource Restoration/Rehabilitation) and Section 15301 (Existing Facilities) of the California Environmental Quality Act Guidelines, and approving Certificate of Appropriateness No. 642, subject to conditions of approval.

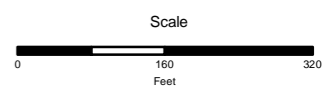
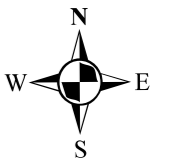


Location Map



Project Location

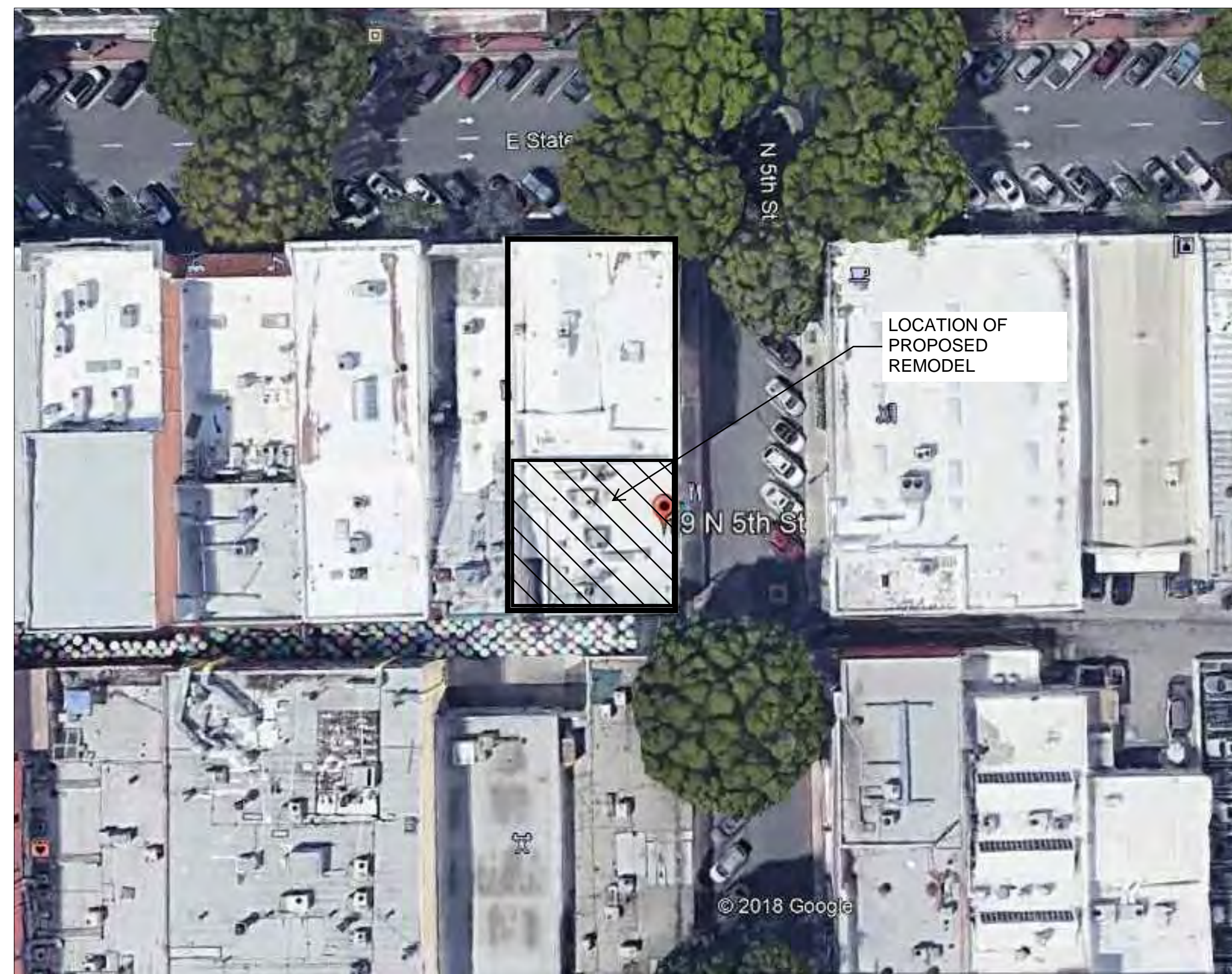
This map was produced by the City of Redlands, Geographic Information System. The City of Redlands assumes no warranty or legal responsibility for the information contained on this map. The data used to generate this map is dynamic in nature, therefore the information shown may or may not be the most current.



January 25, 2022

OneStop.mxd

SITE PLAN



# INTERIOR REMODEL BRUNCH CLUB

## AT 19 N. 5TH STREET REDLANDS, CA. 92373



1177 IDAHO ST, SUITE 200A  
REDLANDS, CALIFORNIA 92374  
Ph. (909) 499-0058

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CONSULTANT:

CLIENT:

**BUILDING CODES:**

APPLICABLE CODES

- 2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R. \*
- 2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. (2015 INTERNATIONAL BUILDING CODE VOLUMES 1-2 AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. (2014 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R. (2015 UNIFORM MECHANICAL CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2016 UNIFORM PLUMBING CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R. \*
- 2016 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R. (2016 INTERNATIONAL FIRE CODE AND 2016 CALIFORNIA AMENDMENTS)
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24 C.C.R.
- 2016 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
- TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- 2015 ASME A17.1 SAFETY CODE FOR ELEVATORS AND ESCALATORS

PARTIAL LIST OF APPLICABLE STANDARDS

NFPA 13	AUTOMATIC FIRE SPRINKLER SYSTEMS	2016 EDITION
NFPA 14	STANDPIPE AND HOSE SYSTEMS	2016 EDITION
NFPA 17	DRY CHEMICAL EXTINGUISHING SYSTEMS	2013 EDITION
NFPA 17a	WET CHEMICAL EXTINGUISHING SYSTEMS	2013 EDITION
NFPA 20	STATIONARY PUMPS FOR FIRE PROTECTION	2016 EDITION
NFPA 22	WATER TANKS FOR PRIVATE FIRE PROTECTION	2013 EDITION
NFPA 24	PRIVATE FIRE MAINS & THEIR APPURTENANCES	2016 EDITION
NFPA 25	STANDARD FOR INSPECTION, TESTING AND MAINTENANCE OF WATER-BASED FIRE PROTECTION SYSTEMS	2017 EDITION
NFPA 72	NATIONAL FIRE ALARM & SIGNALING CODE	2016 EDITION
NFPA 80	FIRE DOORS AND OTHER OPENING PROTECTIVES	2016 EDITION
NFPA 92	STANDARD FOR SMOKE CONTROL SYSTEMS	2015 EDITION
NFPA 253	CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS	2015 EDITION
NFPA 2001	CLEAN AGENT FIRE EXTINGUISHING SYSTEMS	2015 EDITION
ICC 300	ICC STANDARDS ON BLEACHERS, FOLDING AND TELESCOPING SEATING, AND GRAND STANDS	2015 EDITION
UL 300	FIRE TESTING OF FIRE EXTINGUISHING SYSTEMS FOR PROTECTION OF RESTAURANT COOKING AREAS	2015 EDITION
UL 464	AUDIBLE SIGNAL APPLIANCES	2016 EDITION
UL521	HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS	2016 EDITION

REFERENCE CODE SECTION FOR NFPA STANDARDS-2016 CBC (SFM) CHAPTER 35. SEE CHAPTER 35 FOR STATE OF CALIFORNIA AMENDMENTS TO NFPA STANDARDS.

**BUILDING SUMMARY**

1STORY BUILDING	
CONST TYPE:	VB NON-SPRINKLERED
APN:	0171-121-10-0-000
OCCUPANCY:	B
TOTAL FLOOR AREA:	1,499 SF
OCCUPANCY LOAD:	39 (DINING) 5 (STAFF)

**PROJECT TEAM:**

**PROPERTY OWNER:**

YONG KYU PARK  
19 N. 5TH STREET  
REDLANDS, CA. 92373

**APPLICANT:**

NECTAR INTERNATIONAL INC.  
721 NEVAEDA STREET, SUITE 404  
REDLANDS, CA. 92373  
PH. 909/809-1267  
E-MAIL: dave@nectarclothing.com

**ARCHITECT:**

DAVID W. HIGGINSON, AIA  
38868 BUTTERFLY DRIVE  
YUCAIPA, CA. 92399  
PH. 909/499-0058  
E-MAIL: dhigginson.hai@gmail.com

**MEP/STRUCTURAL DESIGN:**

STEVEN PAUL MURRAY, ARCHITECT  
1177 IDAHO STREET, SUITE 200  
REDLANDS, CA. 92374  
PH. 909/884-7660

**GENERAL NOTES:**

FURNISH ALL ITEMS REQUIRED FOR PROPER EXECUTION AND COMPLETION

GENERAL CONSTRUCTION NOTES:

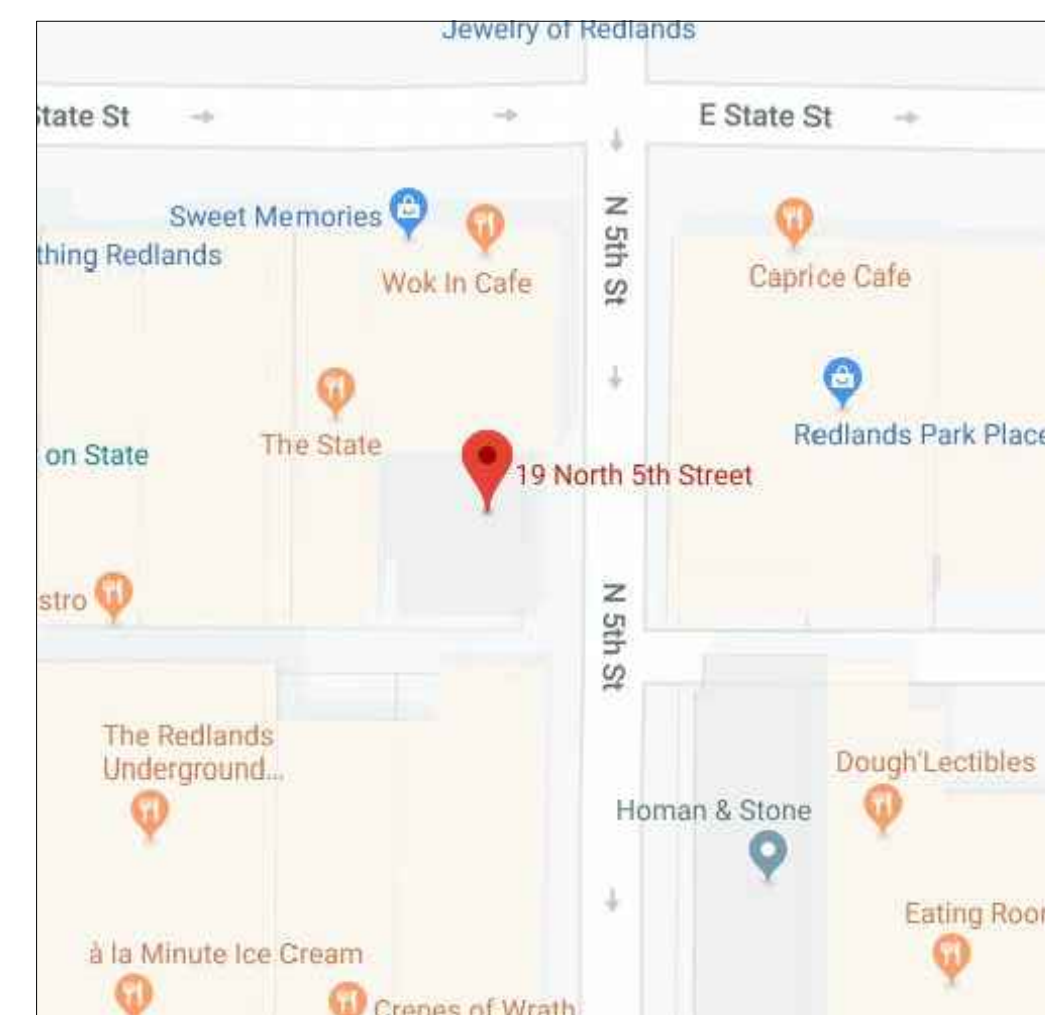
1. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL SYSTEMS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE CURRENT EDITION OF THE UBC, LOCAL CODES, AND AUTHORITIES.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE COMMENCING WORK. SHOULD A DISCREPANCY FROM THE CONTRACT DOCUMENTS APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS, THAT AFFECTS ANY WORK, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTION ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT INSTRUCTION FROM THE ARCHITECT, THE CONTRACTOR SHALL CORRECT ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT. SHOULD A CONFLICT OCCUR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
4. THE CONTRACTOR SHALL CONFINE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE CITY. THE WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LAWS, LOCAL ORDINANCES, PERMITS, AND THE CONTRACT DOCUMENTS. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION AND FREE OF DEBRIS AND LITTER. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK.
5. ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF THE WORK.
6. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED SHALL MATCH SURROUNDING SURFACES.
7. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE/STRIKE-OFF SUBMITTAL SHALL BE COMMENCED UNTIL THE SUBMITTAL HAS BEEN APPROVED BY THE ARCHITECT AND/OR OWNER. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES/STRIKE-OFFS.
8. DIMENSIONS
  - A. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.
  - B. ALL DIMENSIONS ARE TO BE ROUGH.
  - C. CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR SLAB TO FINISH FACE OF CEILING

**SCOPE OF WORK:**

IT IS THE INTENT OF THIS CONTRACT TO CONSTRUCT INTERIOR IMPROVEMENTS IN THE FORMER RESTAURANT SPACE. THE SCOPE OF SERVICES TO BE PROVIDED UNDER THIS CONTRACT, BUT NOT LIMITED TO, IS AS FOLLOWS:

1. DEMOLITION OF EXISTING WALLS AND WINDOWS
2. CONSTRUCTION OF NEW WALLS AND DOORS
3. NEW FLOORING AND FINISHES AS NOTED.
4. MODIFY EXISTING CEILING AS REQUIRED TO CONSTRUCT NEW.
5. NEW HVAC SYSTEMS
6. NEW LIGHTING AND ELECTRICAL SYSTEMS
7. STRUCTURAL MODIFICATIONS TO EXISTING BUILDING.
8. NEW KITCHEN EQUIPMENT AND CASEWORK
9. CONSTRUCT NEW EXTERIOR FENCING AND GATE FOR OUTDOOR DINING AREA.

**VICINITY MAP:**



**SHEET INDEX:**

T-1	TITLE SHEET
T-2	CAL GREEN / EXIT PLAN
A1.0	FLOOR PLAN
A2.0	REFLECTED CEILING PLAN
A3.0	EXTERIOR ELEVATIONS / WALL SECTIONS
A4.0	KITCHEN EQUIPMENT PLAN
E0.1	LEGENDS, NOTES & SCHEDULES
E0.2	PANEL SCHEDULES, SCHEDULES, & SINGLE LINE DIAGRAM
E0.3	ELECTRICAL PANEL SCHEDULES
E2.0	ELECTRICAL POWER PLAN
E3.0	ELECTRICAL LIGHTING PLAN
E4.0	ELECTRICAL ROOF PLAN
E5.0	ENERGY COMPLIANCE
E5.1	ENERGY COMPLIANCE
M0.1	EQUIPMENT SCHEDULE, LEGEND, & NOTES
M0.2	MECHANICAL SPECIFICATIONS
M0.3	MECHANICAL ENERGY COMPLIANCE FORMS
M0.4	MECHANICAL ENERGY COMPLIANCE FORMS
M1.0	MECHANICAL FLOOR PLAN
M2.0	MECHANICAL ROOF PLAN
M3.0	MECHANICAL DETAILS
M3.1	MECHANICAL DETAILS
P0.1	LEGEND, NOTES & SCHEDULES
P.02	NOTES & SCHEDULES
P.03	SPECIFICATIONS
P2.0	WASTE & VENT PLAN
P3.0	DOMESTIC PLUMBING SUPPLY PLAN
P4.0	GAS SUPPLY FLOOR PLAN
P5.0	GAS SUPPLY ROOF PLAN
P6.0	PLUMBING DETAILS
P6.1	PLUMBING DETAILS
Q1.0	EQUIPMENT FLOOR PLAN
Q2.0	EQUIPMENT SCHEDULE
S0.1	STRUCTURAL GENERAL NOTES
S0.2	STRUCTURAL GENERAL NOTES
S1.0	FOUNDATION PLAN
S2.0	CEILING FRAMING PLAN
S2.1	ROOF FRAMING PLAN
SD1	STRUCTURAL DETAILS

**APPROVALS**

**REVISIONS**

DATE:	
DATE:	
DATE:	
CHECKED BY: D.W.H.	DRAWN BY:
	DATE: 10/21/21

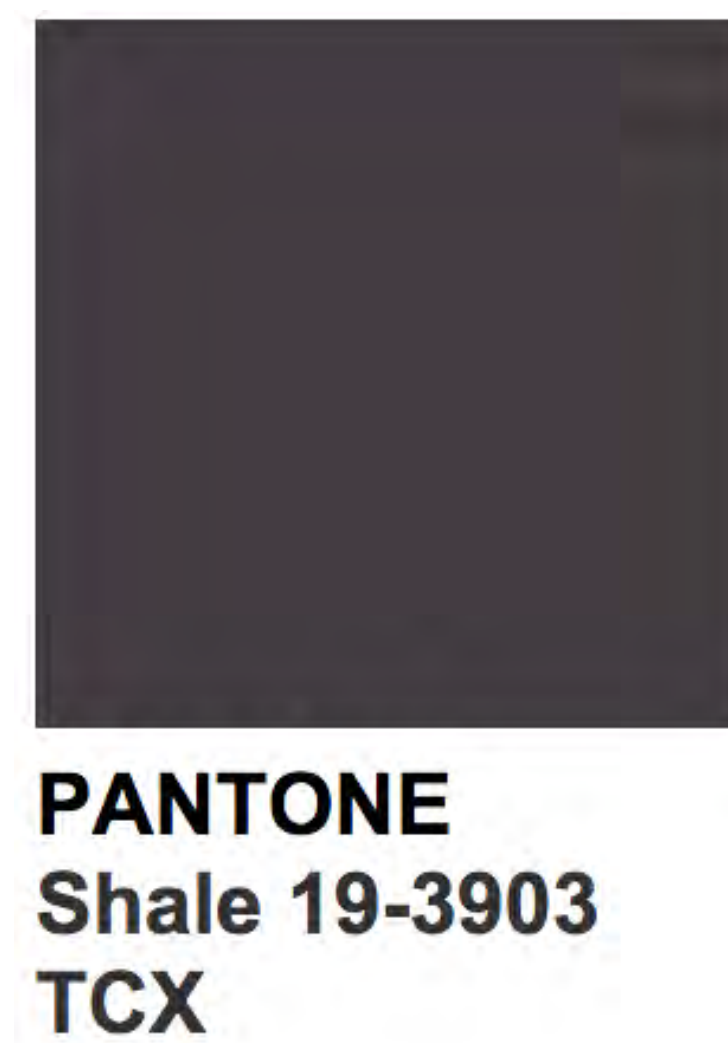
**SHEET TITLE**

TITLE SHEET

**SHEET NO**

T-1

BRUNCH CLUB  
INTERIOR REMODEL  
19 N. 5TH STREET  
REDLANDS, CA. 92373



**HIGGINSON  
ARCHITECTS  
INCORPORATED**

1177 IDAHO ST, SUITE 200A  
REDLANDS, CALIFORNIA 92374  
Ph. (909) 499-0058

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CONSULTANT:

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**BRUNCH CLUB  
INTERIOR REMODEL**  
19 N. 5TH STREET  
REDLANDS, CA 92373

APPROVALS:

REVISIONS:

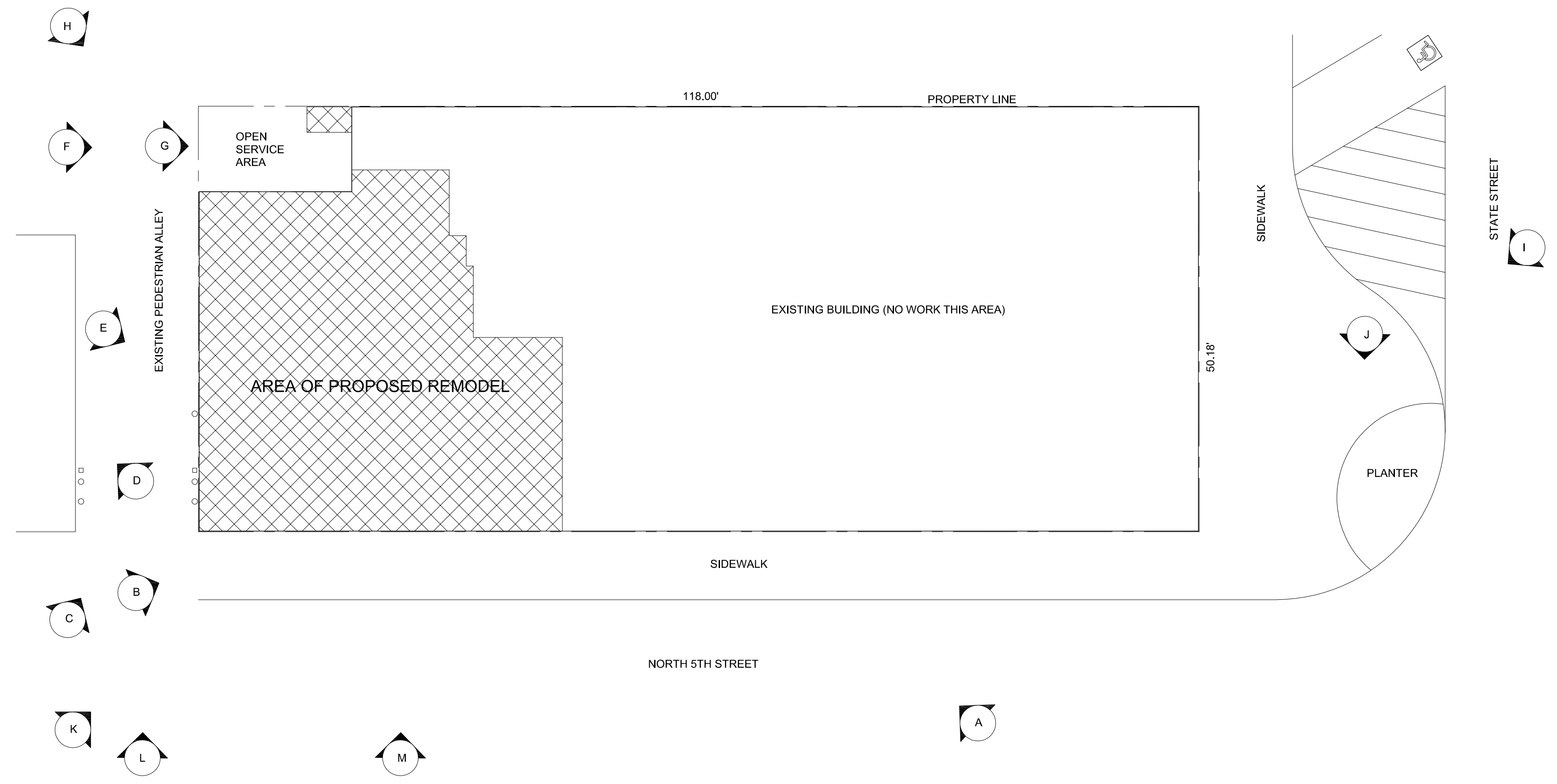
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DATE: 9/21/21		

SHEET TITLE:

**RENDERING &  
COLOR SELECTION**

SHEET NO:

**T-R**



A PHOTO EXHIBIT  
T-E / SCALE: NTS



B PHOTO EXHIBIT  
T-E / SCALE: NTS



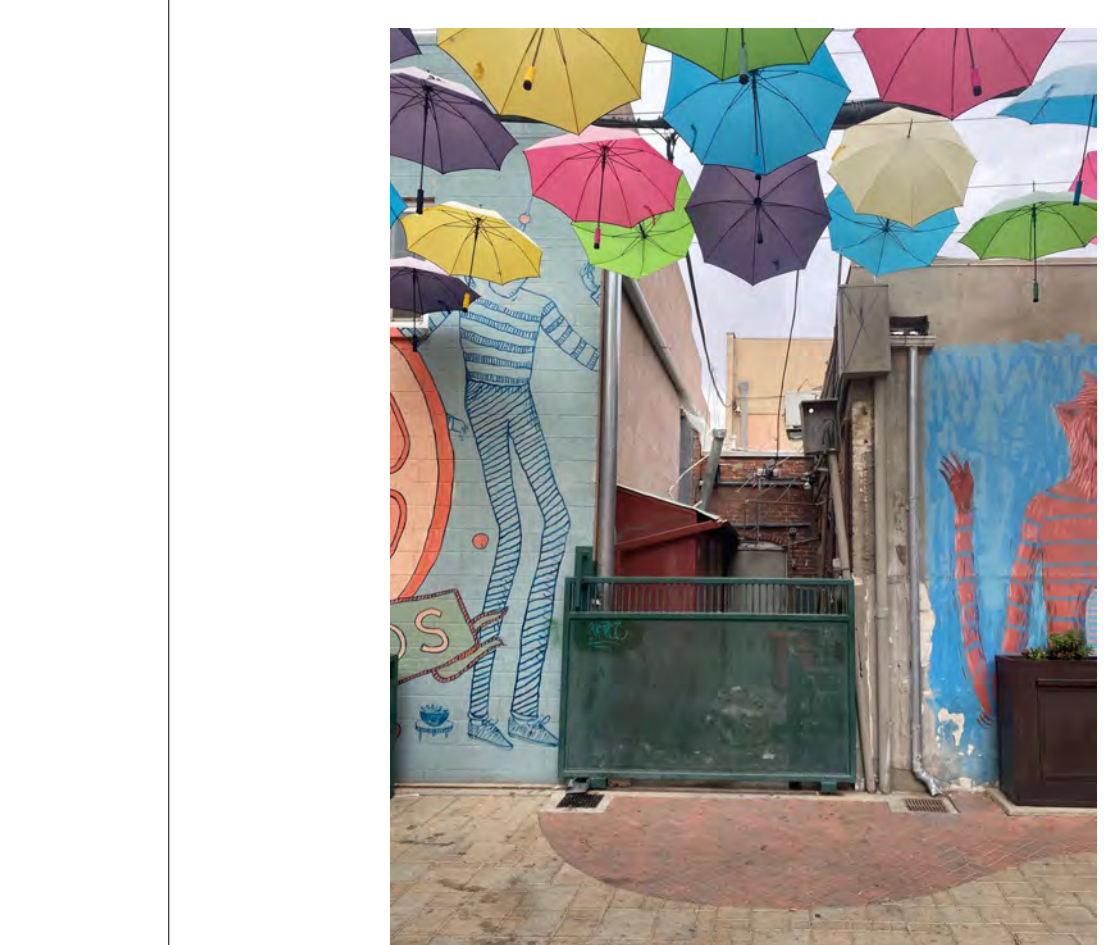
C PHOTO EXHIBIT  
T-E / SCALE: NTS



D PHOTO EXHIBIT  
T-E / SCALE: NTS



E PHOTO EXHIBIT  
T-E / SCALE: NTS



F PHOTO EXHIBIT  
T-E / SCALE: NTS



G PHOTO EXHIBIT  
T-E / SCALE: NTS



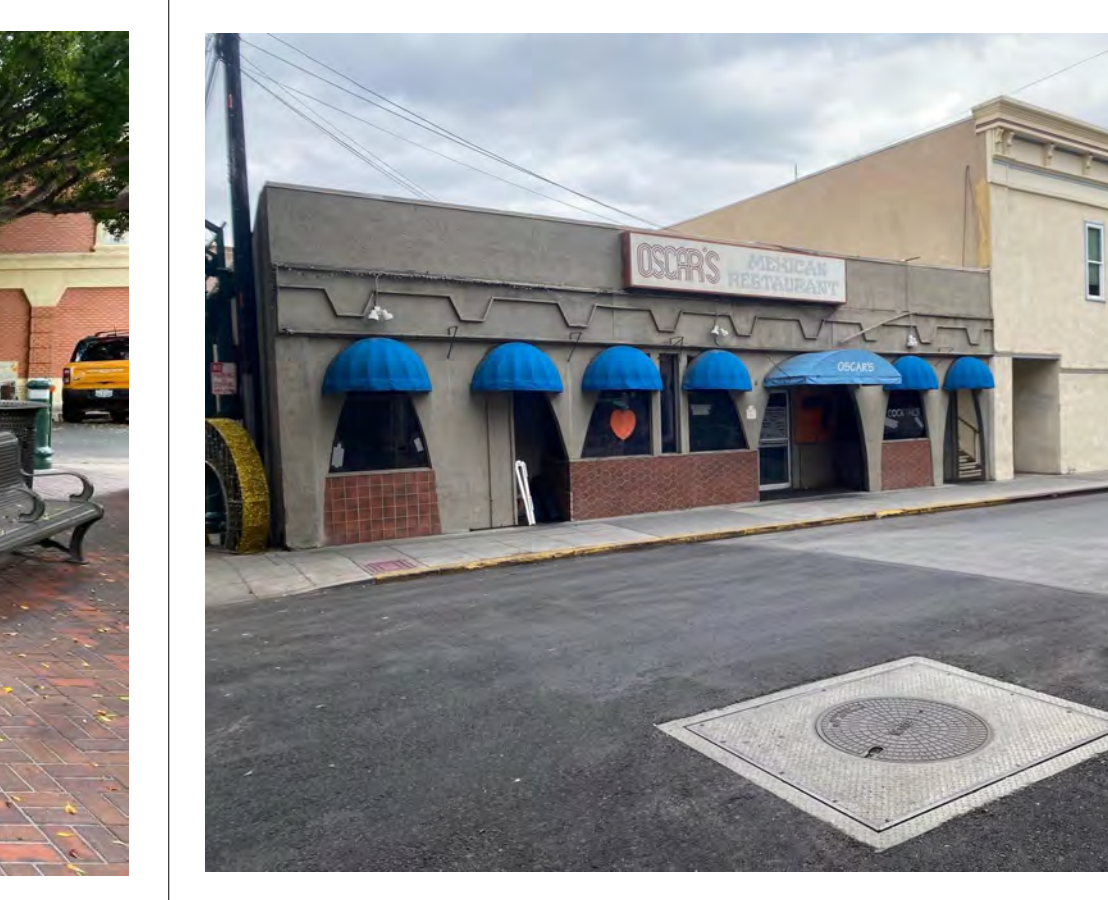
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J PHOTO EXHIBIT  
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K PHOTO EXHIBIT  
T-E / SCALE: NTS



L PHOTO EXHIBIT  
T-E / SCALE: NTS



M PHOTO EXHIBIT  
T-E / SCALE: NTS



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CONSULTANT:

CLIENT:

BRUNCH CLUB  
INTERIOR REMODEL  
19 N. 5TH STREET  
REDLANDS, CA. 92373

APPROVALS:

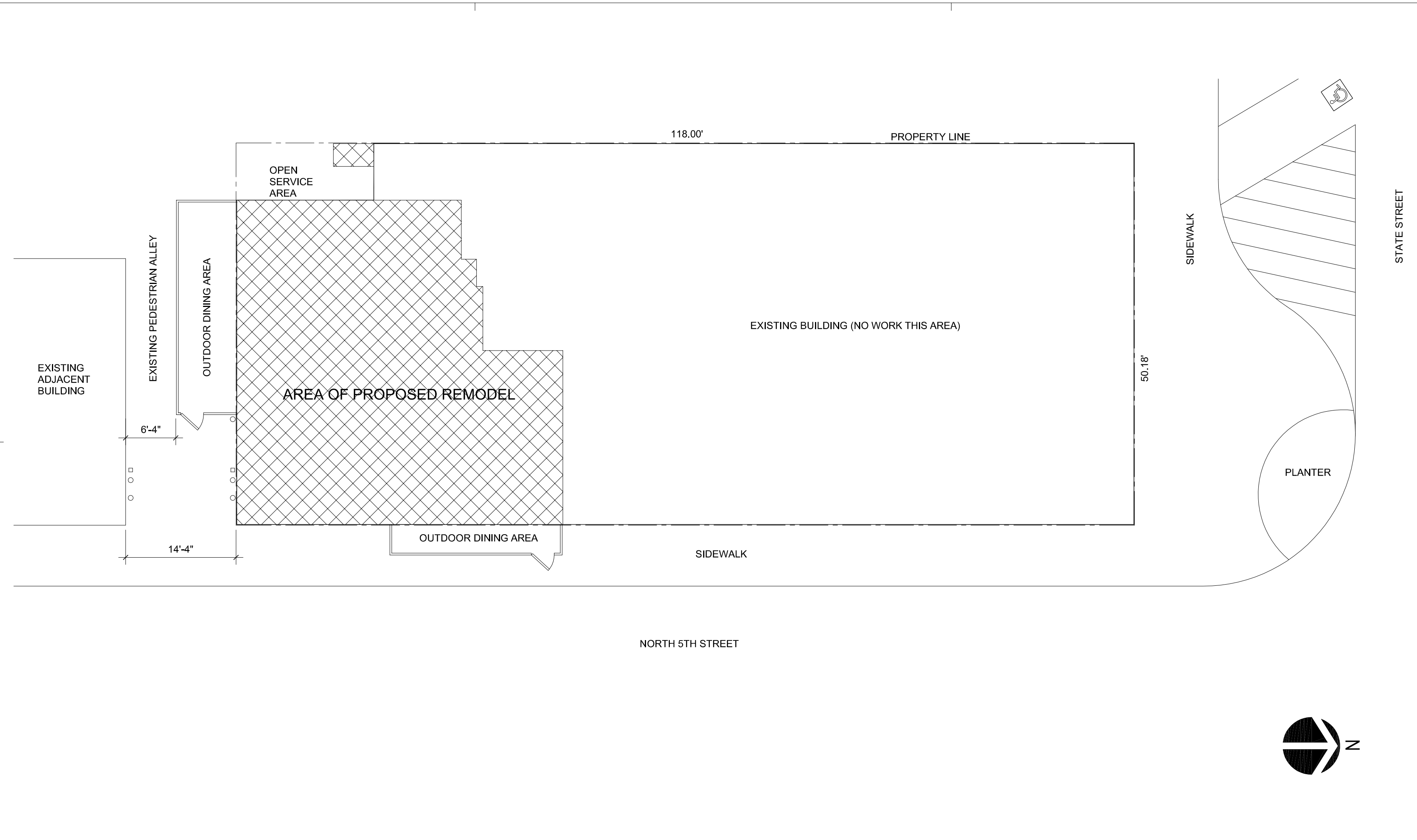
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DATE: 9/21/21

SHEET TITLE:

SITE PLAN &  
PHOTO EXHIBITS

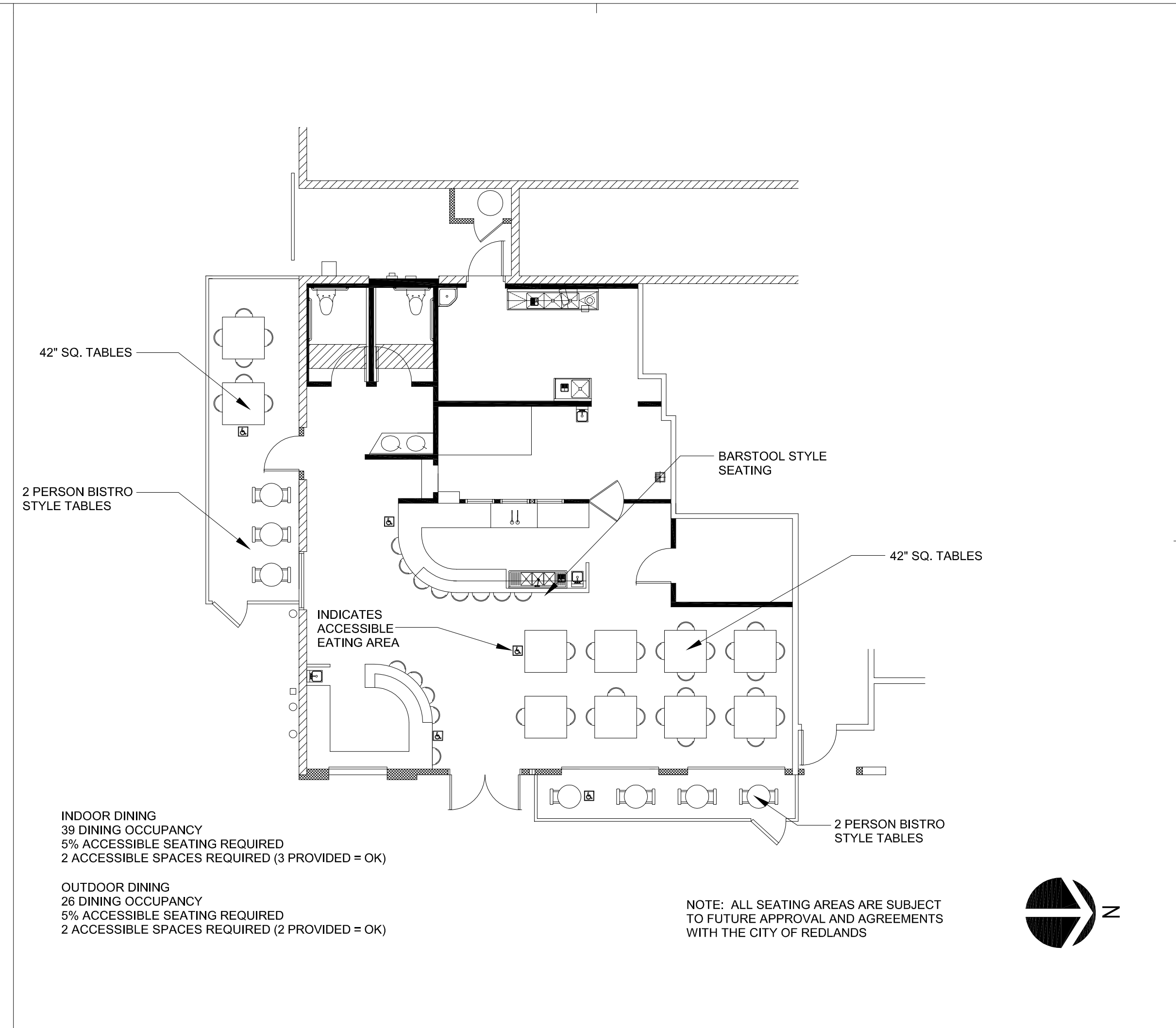
SHEET NO:

T-E



01 REFERENCE SITE PLAN

A0.0 SCALE: 1"=10'



02 PROPOSED SEATING LAYOUT

A0.0 SCALE: 1/8"=1'-0"



**HIGGINSON ARCHITECTS INCORPORATED**

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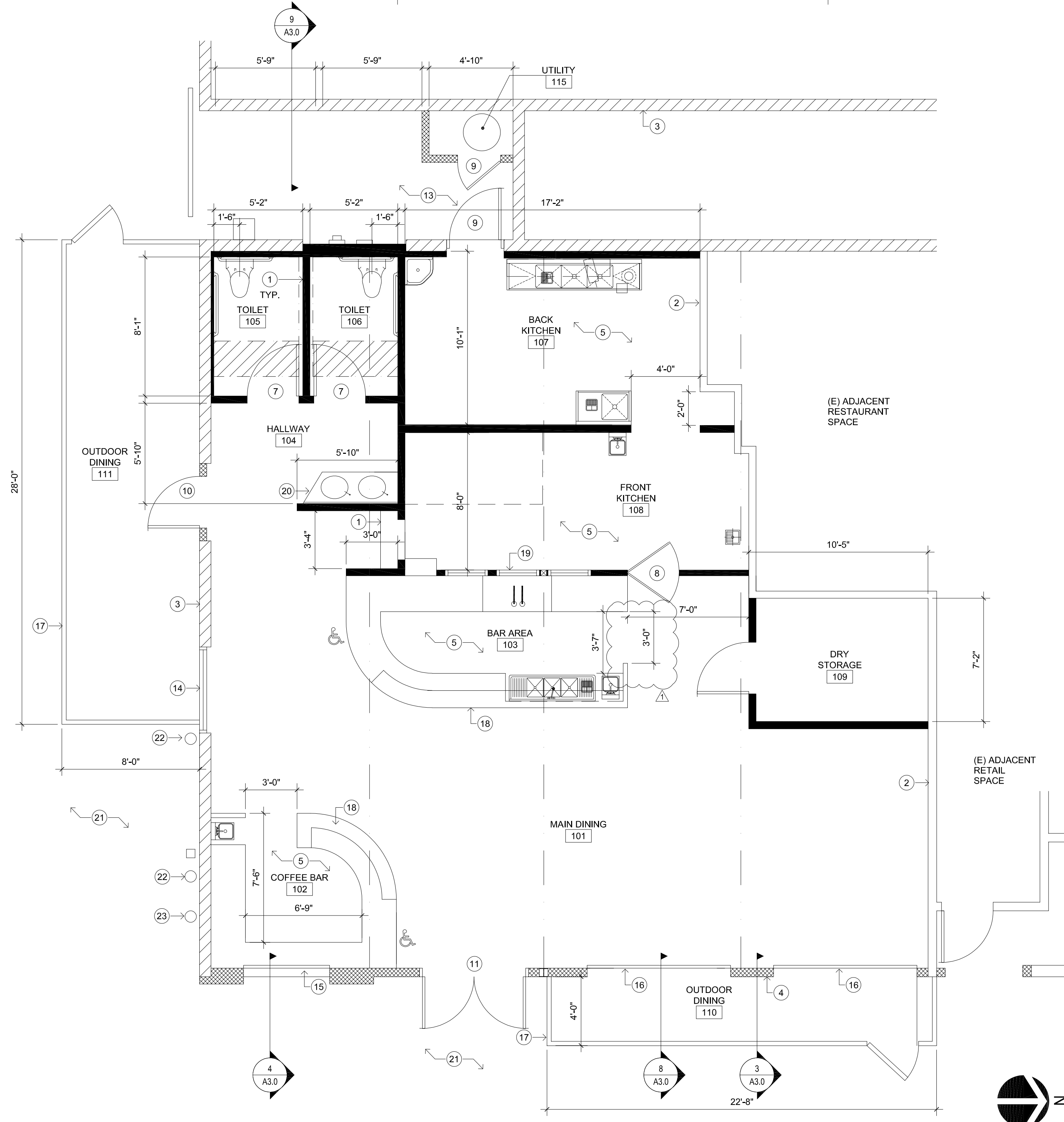
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SHEET TITLE:

SITE PLAN &  
SEATING LAYOUT

SHEET NO:

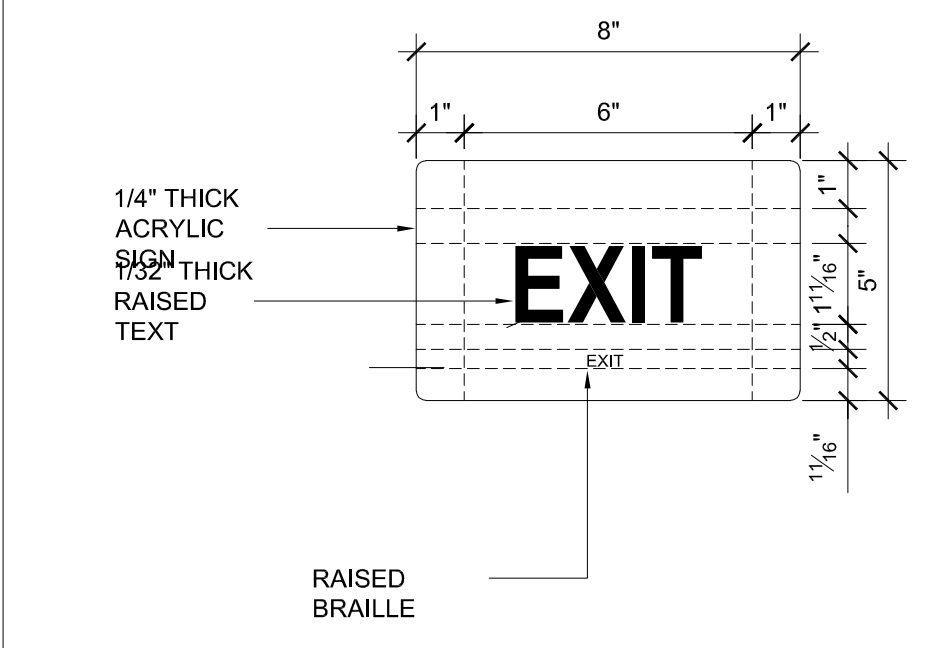
A0.0



### FINISH SCHEDULE

ROOM	FLOOR	BASE	WALLS	CEILING
101 - MAIN DINING	SEALED CONCRETE	CT	FINISH PAINT	PAINTED GWB
102 - COFFEE BAR	SEALED CONCRETE	CT	SGP PAINT	SGP PAINT
103 - BAR AREA	SEALED CONCRETE	CT	SGP PAINT	SGP PAINT
104 - HALLWAY	SEALED CONCRETE	CT	FINISH PAINT	PAINTED GWB
105 - TOILET	SEAMLESS FLOORING	CT	CERAMIC TILE	PAINTED GWB
106 - TOILET	SEAMLESS FLOORING	CT	CERAMIC TILE	PAINTED GWB
107 - BACK KITCHEN	EPOXY FLOOR	6" INTEGRAL BASE	FRP	WASHABLE ACT
108 - FRONT KITCHEN	EPOXY FLOOR	6" INTEGRAL BASE	FRP	WASHABLE ACT
109 - DRY STORAGE	SEALED CONCRETE	CT	SGP PAINT	WASHABLE ACT
110 - OUTDOOR DINING	EXISTING CONC	N/A	N/A	N/A
111 - OUTDOOR DINING	EXISTING CONC	N/A	N/A	N/A
112 - OUTDOOR SERVICE	EXISTING CONC	N/A	N/A	N/A
113 - STORAGE	SEALED CONCRETE	CT	FINISH PAINT	PAINTED GWB
114 - STORAGE	SEALED CONCRETE	CT	FINISH PAINT	PAINTED GWB
115 - UTILITY	SEALED CONCRETE	CT	FINISH PAINT	PAINTED GWB

CT - 6" X 6" SANITARY COVE BASE SLIM FOOT



NOTE: FOR SIGNAGE MOUNTING LOCATION AND OTHER REQUIREMENTS - SEE 3

### SIGNAGE - EXIT / EXIT ROUTE 3" 2

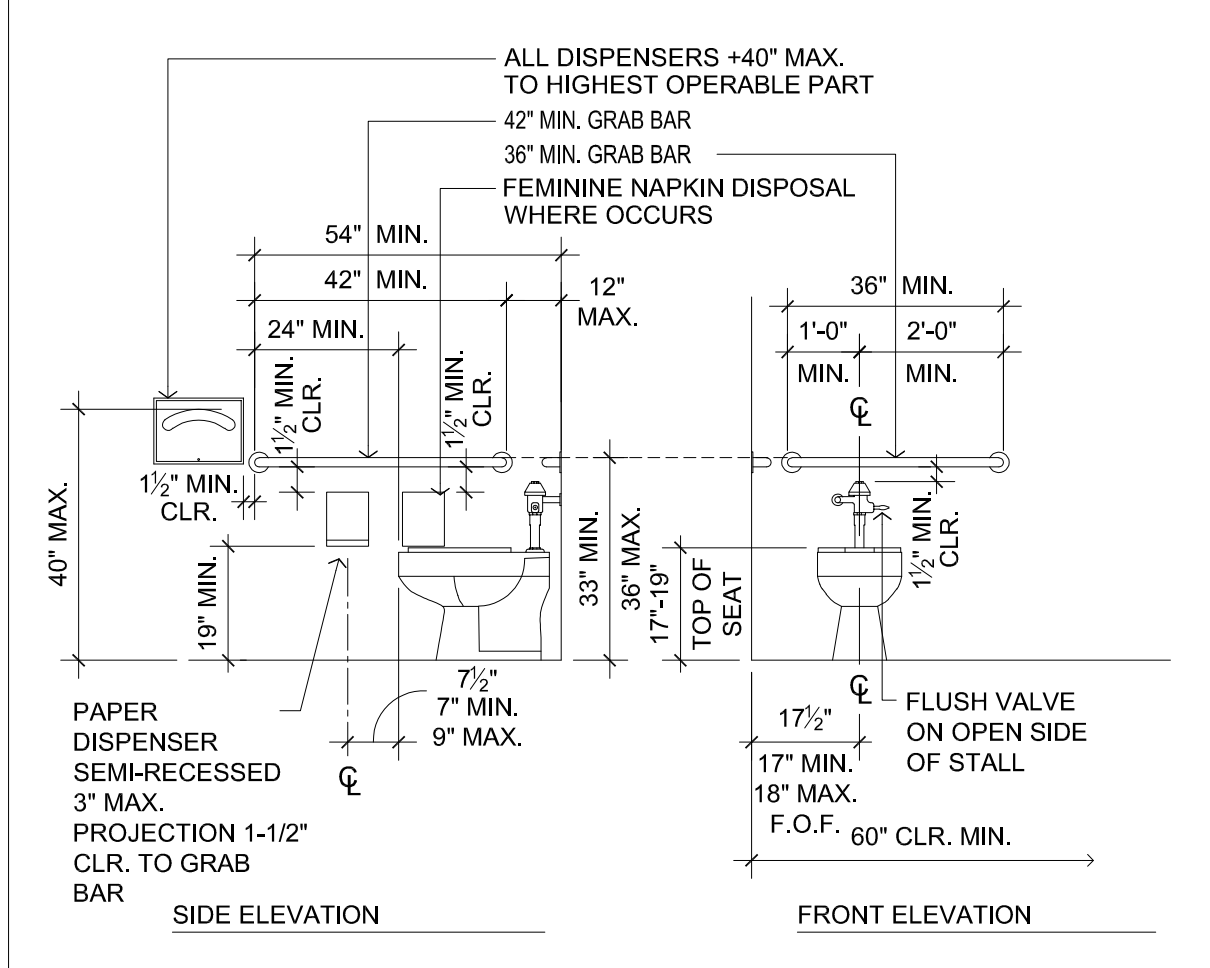
### KEYNOTES

- 2x4 INTERIOR STUD WALL
- (E) WALL TO REMAIN
- (E) MASONRY WALL TO REMAIN
- EXTERIOR FACADE WALL. SEE ELEVATIONS AND WALL SECTIONS, SHEET A-4
- SEE SHEET A-3 FOR ALL KITCHEN EQUIPMENT
- 3068 SC WOOD DOOR WITH METAL FRAME. PROVIDE LEVER LOCKSET
- 3068 SC WOOD DOOR WITH METAL FRAME. PROVIDE PRIVACY LOCKSET
- 3068 STAINLESS STEEL DUAL SWING DOOR WITH SELF CLOSING HINGES.
- 3068 STEEL DOOR AND FRAME WITH LEVER HANDLE LOCKSET AND CLOSER
- 3068 ALUMINUM STOREFRONT DOOR WITH LEVER HANDLE LOCKSET AND CLOSER
- 6090 ALUMINUM STOREFRONT DOOR AND WINDOW SYSTEM. PROVIDE LEVER HANDLE LOCKSET
- PR 2668 STEEL DOORS AND FRAME. PROVIDE LEVER HANDLE LOCKSET
- DUE TO EXISTING ALLEY CONDITIONS AND ADJACENT ACCESS TO BUILDING, THIS AREA IS DEEMED NON-ACCESSIBLE FOR STAFF AND PATRONS.
- 5070 ALUMINUM WINDOW SYSTEM. SEE EXTERIOR ELEVATIONS
- 9'-0" WIDE CUSTOM ALUMINUM SLIDING WINDOW SYSTEM FOR OUTSIDE SERVICE. SEE EXTERIOR ELEVATIONS.
- 8'-0" X 9'-0" CUSTOM BI-FOLD PATIO DOOR. SEE EXTERIOR ELEVATIONS.
- 42" HIGH CUSTOM EXTERIOR RAILING. SEE EXTERIOR ELEVATIONS. PROVIDE 3'-0" WIDE ACCESS GATE TO EACH AREA
- CUSTOM COUNTER WITH ACCESSIBLE SEATING AREA
- ALUMINUM OBSERVATION WINDOWS
- CUSTOM STONE COUNTER TOP WITH INTEGRAL SINKS
- (E) PUBLIC SIDEWALK/ALLEY WAY
- (E) STEEL TRELIS STRUCTURE AND GATES TO REMAIN (CITY OWNED)
- (E) POWER POLE TO REMAIN

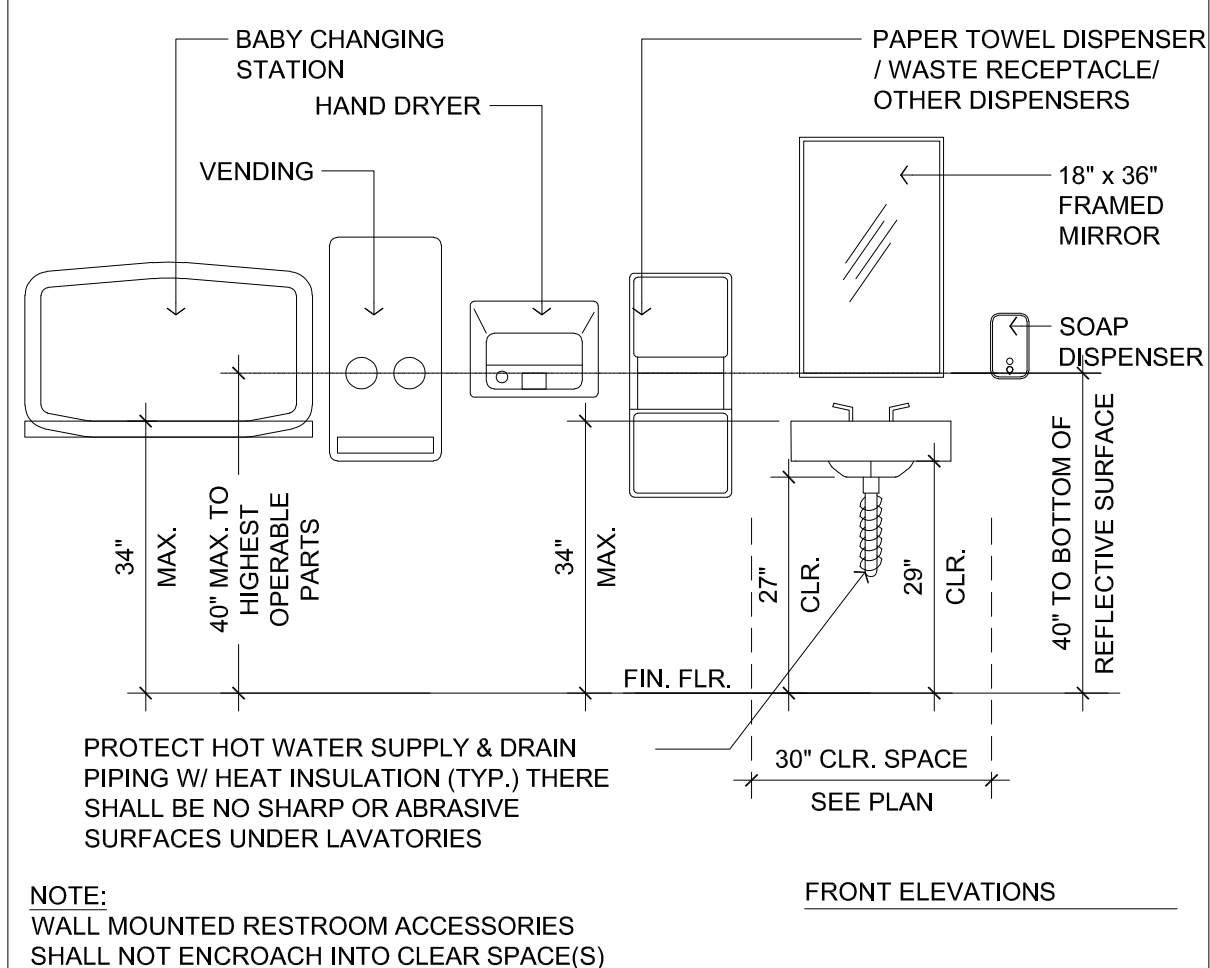
### CONSTRUCTION NOTES:

- ALL NEW CONSTRUCTION SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE CALIFORNIA BUILDING CODES 2010 EDITIONS THAT INCLUDE THE BUILDING, PLUMBING, MECHANICAL, FIRE, ELECTRICAL, AND ENERGY COMMISSIONS SERIES. IN CASES WHERE THE CODES MAY CONFLICT WITH THE PROVISIONS IN THESE PLANS OR SPECIFICATIONS, THE MORE RESTRICTIVE PROVISIONS SHALL GOVERN.
- DO NOT OCCUPY THE STRUCTURE UNTIL FINAL INSPECTIONS HAVE BEEN COMPLETED AND A CERTIFICATE OF OCCUPANCY HAS BEEN GRANTED BY THE BUILDING OFFICIAL.
- EVERY PERMIT ISSUED UNDER THE PROVISIONS OF THESE PLANS SHALL EXPIRE BY LIMITATION AND BECOME NULL AND VOID IF THE BUILDING OR WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS OR MORE AFTER WORK IS COMMENCED.
- SPECIAL INSPECTIONS SHALL BE PERFORMED BY DEPUTY BUILDING INSPECTORS WHO SHALL BE PRE-APPROVED BY THE BUILDING OFFICIAL OF THE CITY. NOTE: NO SPECIAL INSPECTIONS ARE REQUIRED.
- IN ADDITION, THIS PROJECT SHALL COMPLY WITH THE MOST RESTRICTIVE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT AND THE CALIFORNIA NON-RESIDENTIAL DISABLED ACCESS REGULATIONS UNDER TITLE-24 OF THE CALIFORNIA BUILDING CODE 2010 EDITION.
- PROVIDE LEVER TYPE HARDWARE FOR ALL DOORS THAT ARE EQUIPPED WITH A LATCH OR LOCKING DEVICE, AND IN A PATH OF TRAVEL.
- CONSTRUCTION ACTIVITY NOISE SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY. NO WORK SHALL BE PERMITTED ON FEDERAL HOLIDAYS.
- ANYONE WHO IS INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE BEST MANAGEMENT PRACTICES (BMP) TO CONTAIN OR PREVENT ANY ILLEGAL DISCHARGE OR STORM-WATER POLLUTION WITHIN THE PROJECT BOUNDARY UNTIL THE PROJECT IS COMPLETED AND ACCEPTED BY THE PUBLIC WORKS INSPECTOR OF THE CITY.
- RECYCLING OF CONSTRUCTION AND DEMOLITION DEBRIS IS REQUIRED AS MANDATED BY AB 939 AND SB 1066.

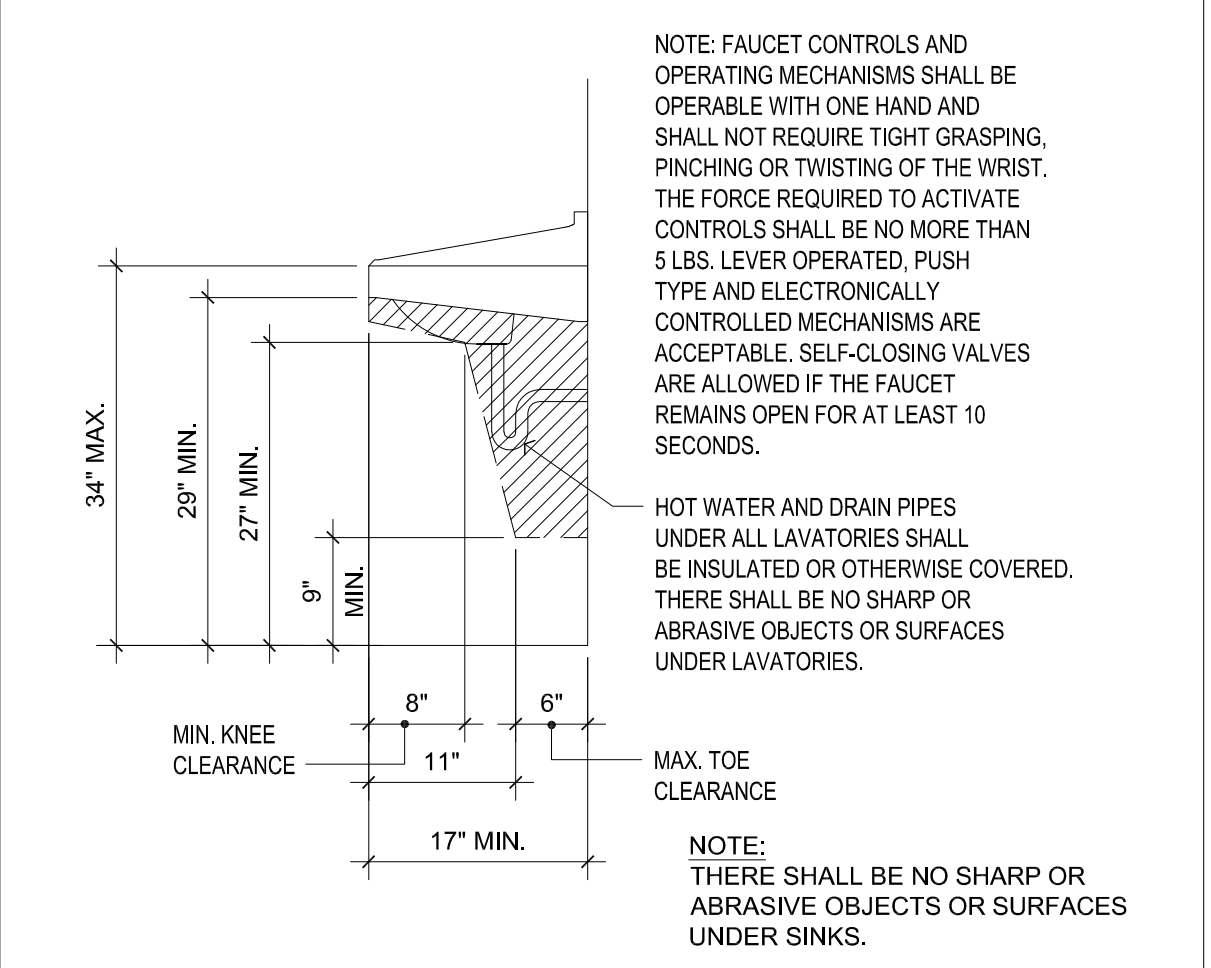
### NEW WORK FLOOR PLAN 1/4" 1



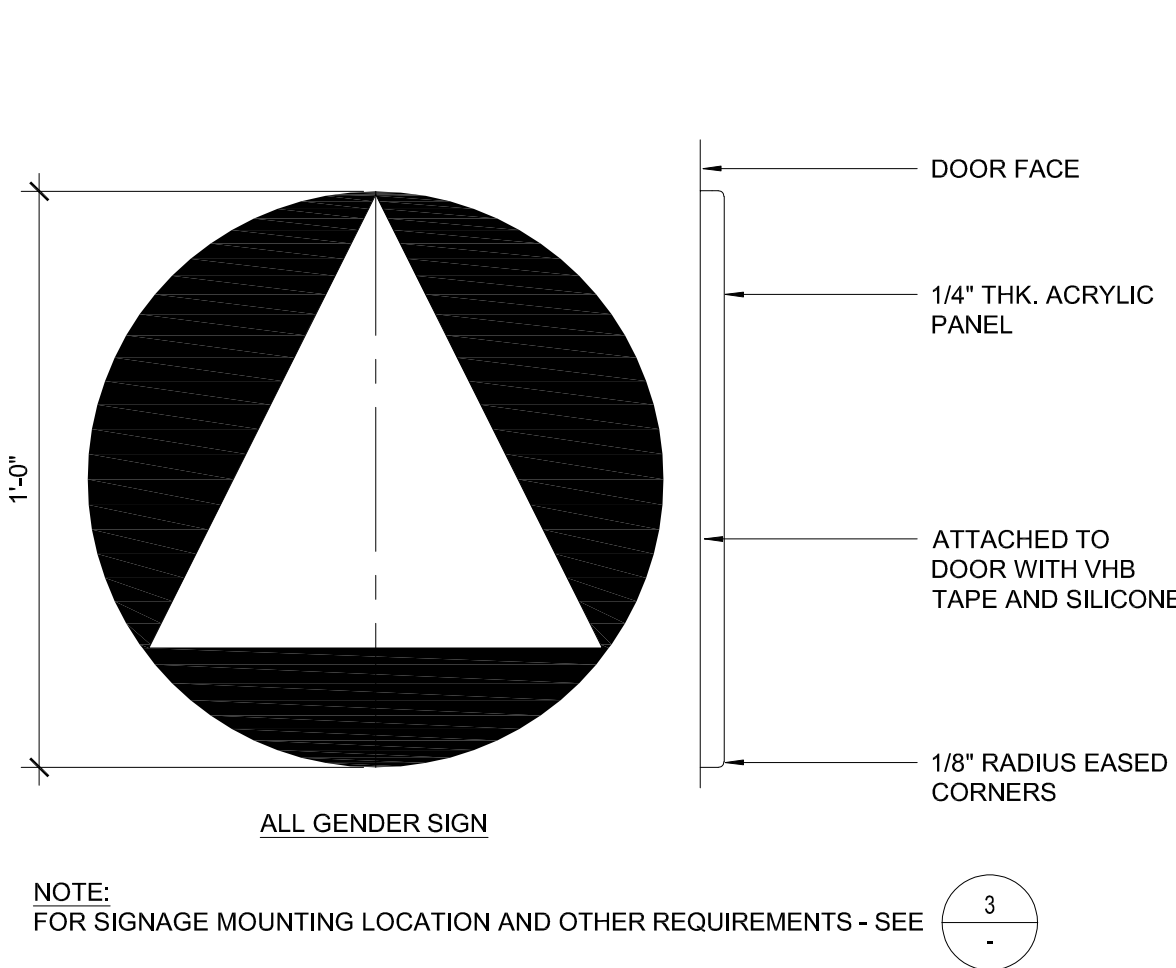
### WATER CLOSET 3/8" 4



### ACCESSORIES NTS 5



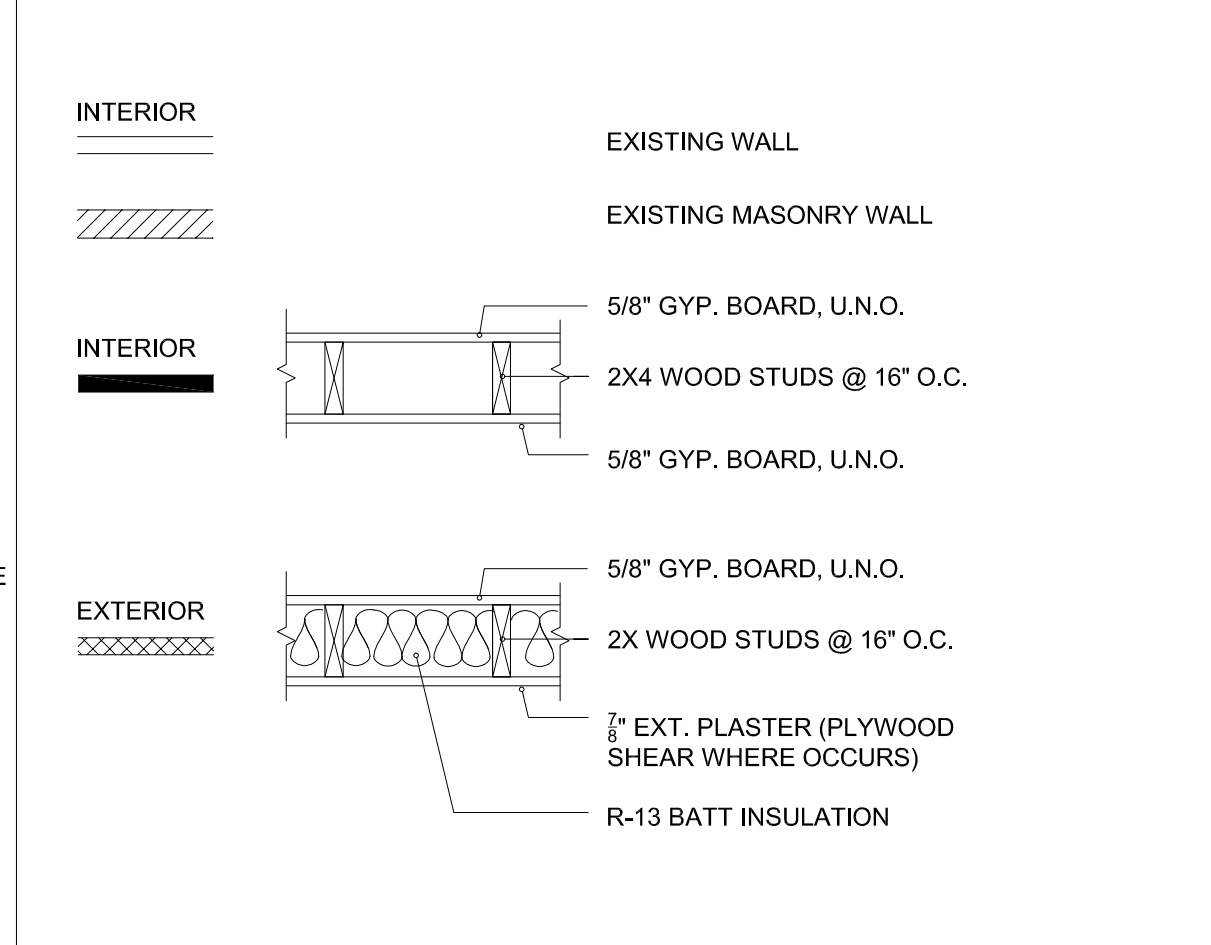
### LAVATORY 3/4" 6



### SIGNAGE - RESTROOM 3" 7

### SIGNAGE - LOCATION 1/2" 3

### WALL LEGEND



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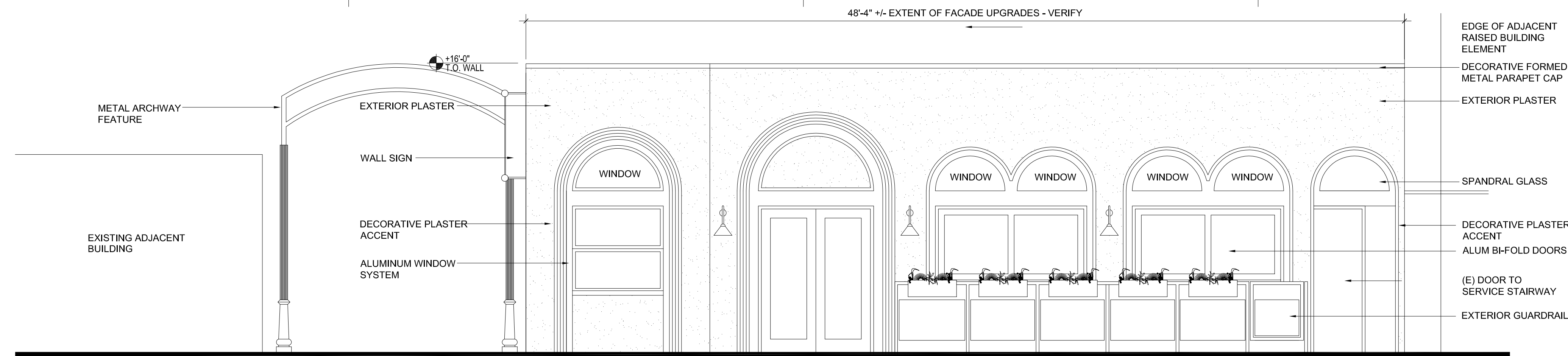
CLIENT:  
**BRUNCH CLUB  
INTERIOR REMODEL**  
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REDLANDS, CA. 92373

APPROVALS:

REVISIONS:  
DATE:  
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DATE: 9/21/21

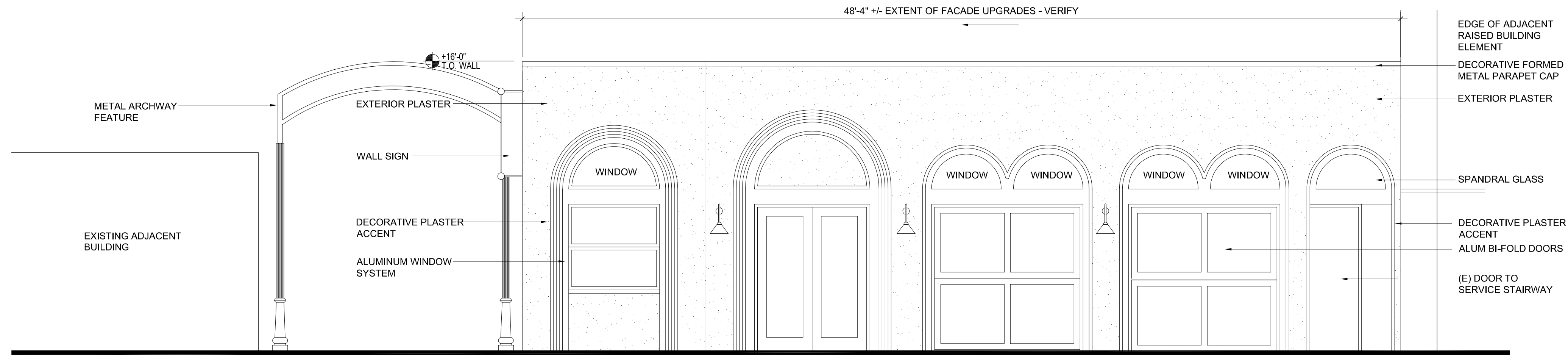
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**FLOOR PLAN**

SHEET NO:  
**A1.0**



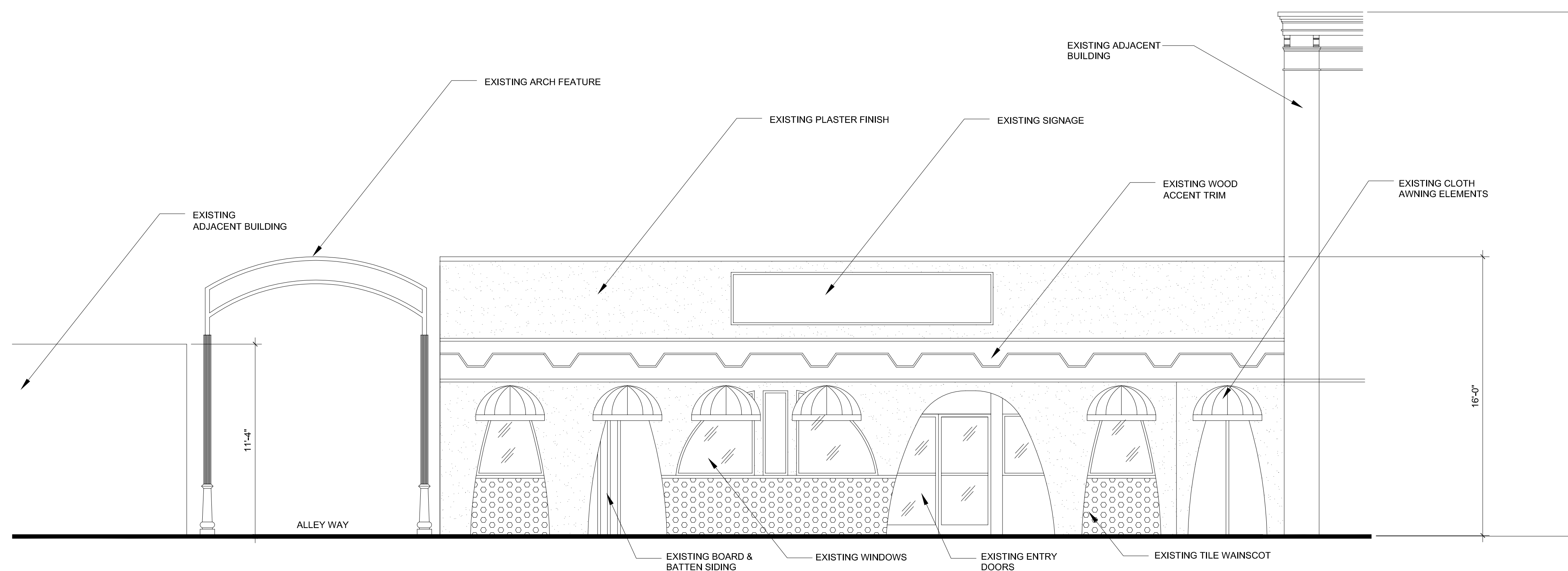
EAST EXTERIOR ELEVATION (FACING 5TH ST)

1/4" 1



EAST EXTERIOR ELEVATION (FACING 5TH ST, RAILING OMITTED)

1/4" 2



EXISTING EXTERIOR ELEVATION (EAST SIDE LOOKING FROM 5TH STREET)

EXISTING EAST ELEVATION (FORMER OSCAR'S RESTAURANT)

1/4" 3



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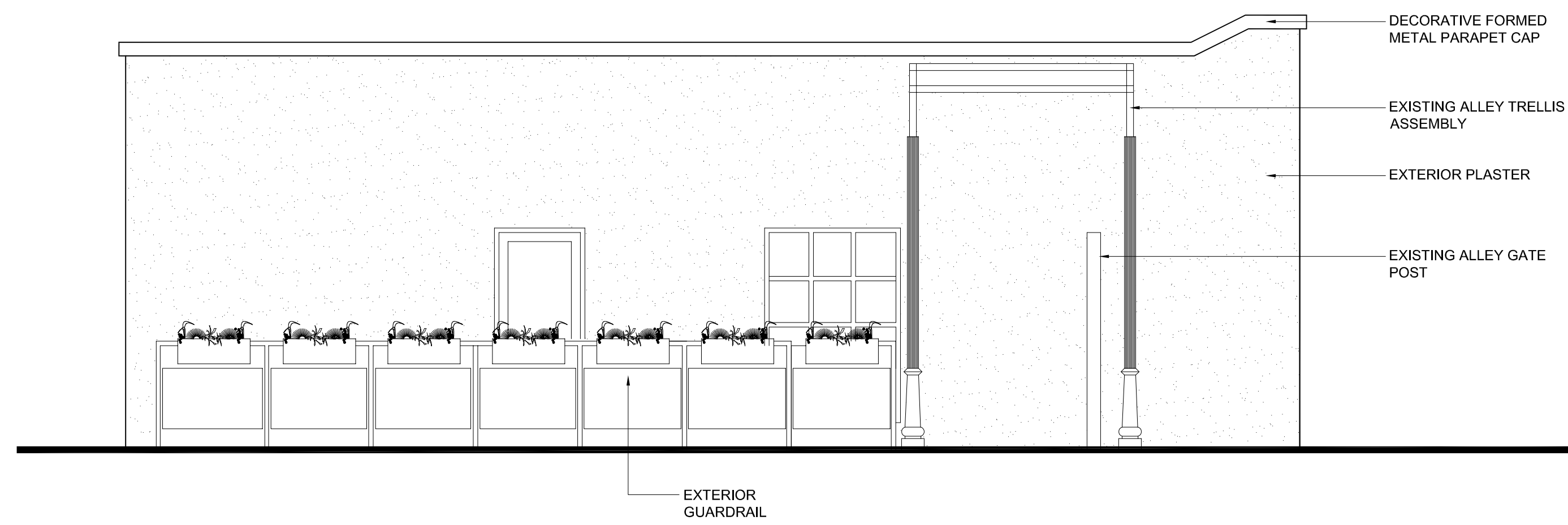
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ELEVATIONS

SHEET NO:

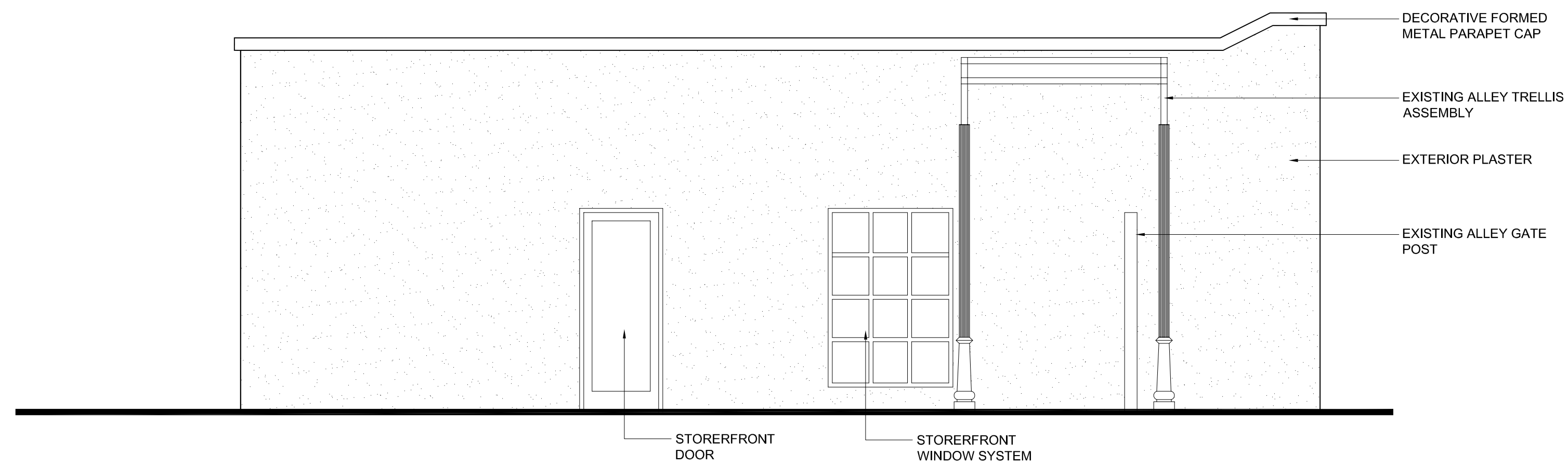
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FP-12-00\_HISTORICAL



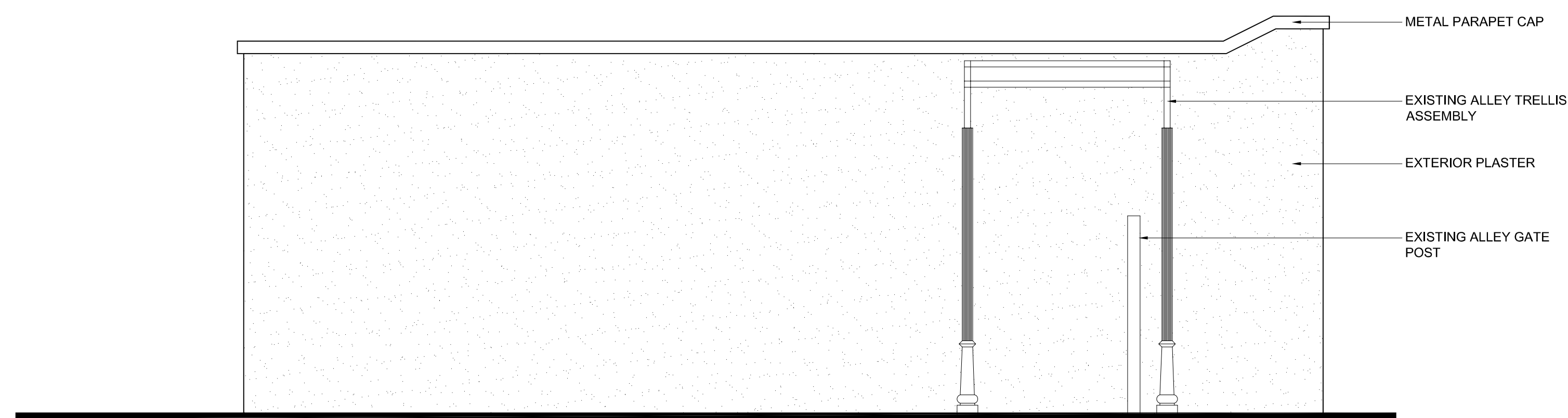
SOUTH EXTERIOR ELEVATION (FACING ALLEY)

1/4" 1



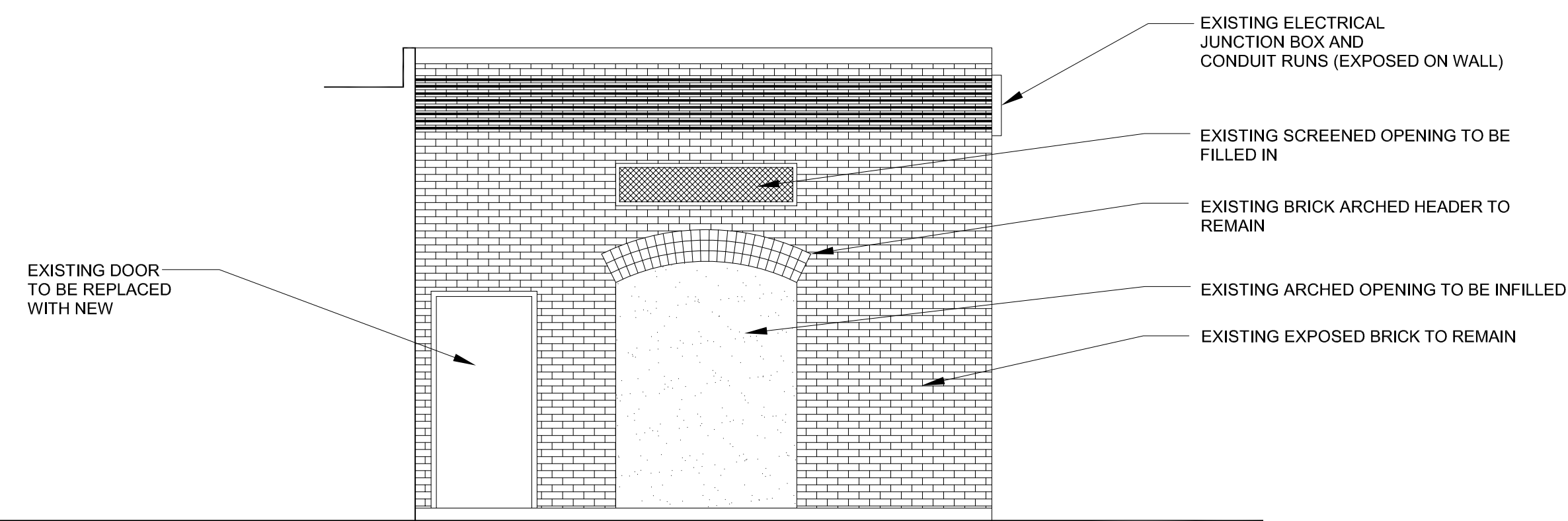
SOUTH EXTERIOR ELEVATION (FACING ALLEY, RAILING OMITTED FOR CLARITY)

1/4" 2



EXISTING EAST ELEVATION

1/4" 3



EXISTING WEST ELEVATION

1/4" 4



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△ DATE:  
CHECKED BY: D.W.H. DRAWN BY:  
DATE: 9/21/21

SHEET TITLE:

ELEVATIONS

SHEET NO:

**A3.1**

FP-12-00\_HISTORICAL



RESOLUTION NO. 2022-06

A RESOLUTION OF THE HISTORIC AND SCENIC PRESERVATION COMMISSION OF THE CITY OF REDLANDS APPROVING CERTIFICATE OF APPROPRIATENESS NO. 642 FOR A FAÇADE REMODEL AND EXTERIOR IMPROVEMENTS TO AN EXISTING BUILDING LOCATED AT 19 NORTH FIFTH STREET (FORMERLY OSCAR'S MEXICAN RESTAURANT). THE EXISTING BUILDING SHARES THE 5,900 SQUARE-FOOT PARCEL (APN: 0171-121-10-0000) WITH HISTORIC RESOURCE NO. 33 LOCATED AT 24 E. STATE STREET.

WHEREAS, David Kelly, has submitted an application for Certificate of Appropriateness No. 642 for a façade remodel of a building located at 19 North Fifth Street on the same parcel as the historic Buster building (Historic Resource No. 33) located at 24 East State Street. The project is located in the General Commercial (C-3) District (APN: 0169-281-39-0000); and

WHEREAS, notice of this Historic and Scenic Preservation Commission public hearing for the Project was duly published in the Redlands Daily Facts by the Secretary to the Historic and Scenic Preservation Commission; and

WHEREAS, on February 3, 2022, the Historic and Scenic Preservation Commission held a public hearing and considered the staff report, oral report, the testimony and the written evidence submitted by and on behalf of the applicant and by members of the public; and

WHEREAS, Public Resources Code Sections 15331 (Historical Resource Restoration/Rehabilitation) and 15301 (Existing Facilities) provide for exemption from the California Environmental Quality Act, there is no substantial evidence of any potentially significant impacts, and the project qualifies for this exemption.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC & SCENIC PRESERVATION COMMISSION OF THE CITY OF REDLANDS AS FOLLOWS:

Section 1. The proposed project is exempt from the California Environmental Quality Act per Section 15331 for Historical Resource Restoration/Rehabilitation and Section 15301 Existing Facilities, and there is no substantial evidence of any potentially significant environmental impacts.

Section 2. This Certificate of Appropriateness is hereby approved subject to the conditions of approval contained in Exhibit A attached hereto.

Section 3. This Resolution shall become effective upon adoption.

ADOPTED, SIGNED AND APPROVED this 3rd day of February, 2022.

---

Kurt Heidelberg, Chair  
Historic & Scenic Preservation Commission

ATTEST:

---

Linda McCasland, Secretary

I, Linda McCasland, Historic and Scenic Preservation Commission Secretary of the City of Redlands, hereby certify that the foregoing resolution was duly adopted by the Historic and Scenic Preservation Commission at a regular meeting thereof held on the 3rd day of February, 2022, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

---

Linda McCasland, Secretary  
Historic & Scenic Preservation  
Commission

**EXHIBIT A  
DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

**CONDITIONS OF APPROVAL FOR  
CERTIFICATE OF APPROPRIATENESS NO. 642**

Date of Preparation:	January 25, 2022
Historic and Scenic Preservation Commission Date:	February 3, 2022
Applicant:	David Kelly
Location:	19 North Fifth Street

---

**Conditions of Approval:**

1. This approval is for Certificate of Appropriateness No. 642 for a façade remodel and exterior improvements to an existing building located at 19 North Fifth Street (formerly Oscar’s Mexican Restaurant). The existing building shares the 5,900 square-foot parcel (APN: 0171-121-10-0000) with Historic Resource No. 33 located at 24 E. State Street.
2. All plans submitted to the City as part of this Certificate of Appropriateness application shall reflect the plans approved on February 4, 2022 and shall comply with all provisions of the Redlands Municipal Code.
3. Outdoor seating areas will require separate permits and agreements prior to any construction or encroachment into the right-of-way.
4. Unless construction has commenced pursuant to a building permit, or a time extension is granted in accordance with Code, this application shall expire in eighteen (18) months from the approval date.

**Note:** This project can be extended by staff per Section 2.62.200(K) for a period not to exceed thirty-six (36) months.

5. The applicant for this permit, and its successors and assigns, shall defend, indemnify and hold harmless the City of Redlands, and its elected officials, officers, agents and employees, from and against any and all claims, actions, and proceedings to attack, set aside, void or annul the approval of this permit by the City, or brought against the City due to acts or omissions in any way connected to the applicant’s project that is the subject of this permit. This indemnification shall include, but not be limited to, damages, fees, costs, liabilities, and expenses incurred in such actions or proceedings, including damages for the injury to property or persons, including death of a person, and any award of

attorneys' fees. In the event any such action is commenced to attack, set aside, void or annul all, or any, provisions of this permit, or is commenced for any other reason against the City for acts or omissions relating to the applicant's project, within fourteen (14) City business days of the same, the applicant shall file with the City a performance bond or irrevocable letter of credit (together, the "Security") in a form and in an amount satisfactory to the City, to ensure applicant's performance of its defense and indemnity obligations under this condition. The failure of the applicant to provide the Security shall be deemed an express acknowledgement and agreement by the applicant that the City shall have the authority and right, without objection by the applicant, to revoke all entitlements granted for the project pursuant to this permit. The City shall have no liability to the applicant for the exercise of City's right to revoke this permit.

6. The applicant shall not make any modifications or changes during construction that are in conflict or contrary to the project's approved site design, or building elevations without first consulting with the Development Services Director or his designee.

---

Loralee Farris, Principal Planner  
Historic Preservation Officer