

DRAWING NAME: C:\USERS\BRIAN\HIGGINSONARCHITECTS.COM\DOCUMENTS\HAI\PROJECT FOLDER\23-01-15 - STEPHEN RESIDENCE CABANA REPAIR\CAD\AUTOCAD\T1.0.DWG | PLOT DATE: 1/25/2024 9:56 AM | PLOTTED BY: BRIAN HIGGINSON | COPYRIGHT 2023 HIGGINSON ARCHITECTS, INC. ALL RIGHTS RESERVED.

Table of abbreviations: A- anchor bolt, AC asphaltic concrete, AFF above finish floor, ALT alternate, ALUM aluminum, AUTO automatic, B- building, BLK block, BLKG blocking, BM bench mark, C- cubic foot, CLR clear(ance), CMU concrete masonry unit, CV cubic yard, D- diameter, DIM dimension, E- east, EP electrical panel-board, EQ equal, F- fire alarm, FD floor drain, FE fire extinguisher, G- gage, gauge, GWB gypsum wall board, HC hollow core, HD heavy duty header, HDR hardware, HGT height, HM hollow metal, HOR horizontal, I- inside diameter, INT interior, L- lavatory, LH left hand, LL live load, M- maximum, MTL metal, MFR manufacture(er), MH manhole, MIN minimum, MISC miscellaneous, N- north, NIC not in contact, NTS not to scale, O- on center, OD outside diameter, OH overhead, OPP opposite, P- plate, WH water heater, PSF pounds per square foot, PSI pounds per square inch, RD roof drain, RH right hand, RM room, RO rough opening, ROW right of way, S- south, SC solid core, SD storm drain, SHT sheet, SIM similar, SQ square, SS stainless steel, ST steel, STD standard, SYM symmetry(cal), TYP typical, U- unless noted otherwise, V- vertical, W- west, WI with, W/O without, WC water closet, WD wood, WR wrought iron, WR water repellent, SYMBOLS - ANGLE, CENTER LINE, PENNY, PERPENDICULAR, PROPERTY LINE, DIAMETER, DEGREES (ANGLE), PLUS OR MINUS, AT

COMMON ABBREVIATIONS

Table of common symbols: KEYNOTE - NEW WORK, KEYNOTE - DEMOLITION, TAG - WALL, TAG - DOOR, TAG - WINDOW, TAG - REVISION, NAME, TAG - ROOM, HEIGHT ABOVE FINISH FLOOR, DETAIL CALL OUT SHEET NUMBER, WALL REFERENCE, INTERIOR ELEVATION, SHEET NUMBER, EXTERIOR ELEVATION, SHEET NUMBER, SECTION NUMBER, SHEET NUMBER

COMMON SYMBOLS

REPAIR AND RECONSTRUCTION OF DAMAGED CONCRETE CABANA FOR MR. AND MRS. STEPIEN

1205 WEST HIGHLAND AVENUE REDLANDS, CALIFORNIA 92373 APN: 0175-091-03-0000

OWNER: ERIN & COREY STEPIEN, 1205 WEST HIGHLAND AVENUE, REDLANDS, CALIFORNIA 92373, PHONE: 909-754-8489, E-MAIL: erin.stepien@gmail.com. ARCHITECT: HIGGINSON ARCHITECTS, INC., 34247 YUCAIPA BOULEVARD, SUITE D, YUCAIPA, CALIFORNIA 92399, PHONE: 909-428-0450, CONTACT: BRIAN HIGGINSON, AIA, E-MAIL: bhigginson@higginsonarchitects.com. ENGINEER: TANG STRUCTURAL ENGINEERS, INC., 7950 CHERRY AVENUE, SUITE #114, FONTANA, CALIFORNIA 92336, PHONE: 909-428-0450, CONTACT: CHE TANG, SE, E-MAIL: che@tang-se.com

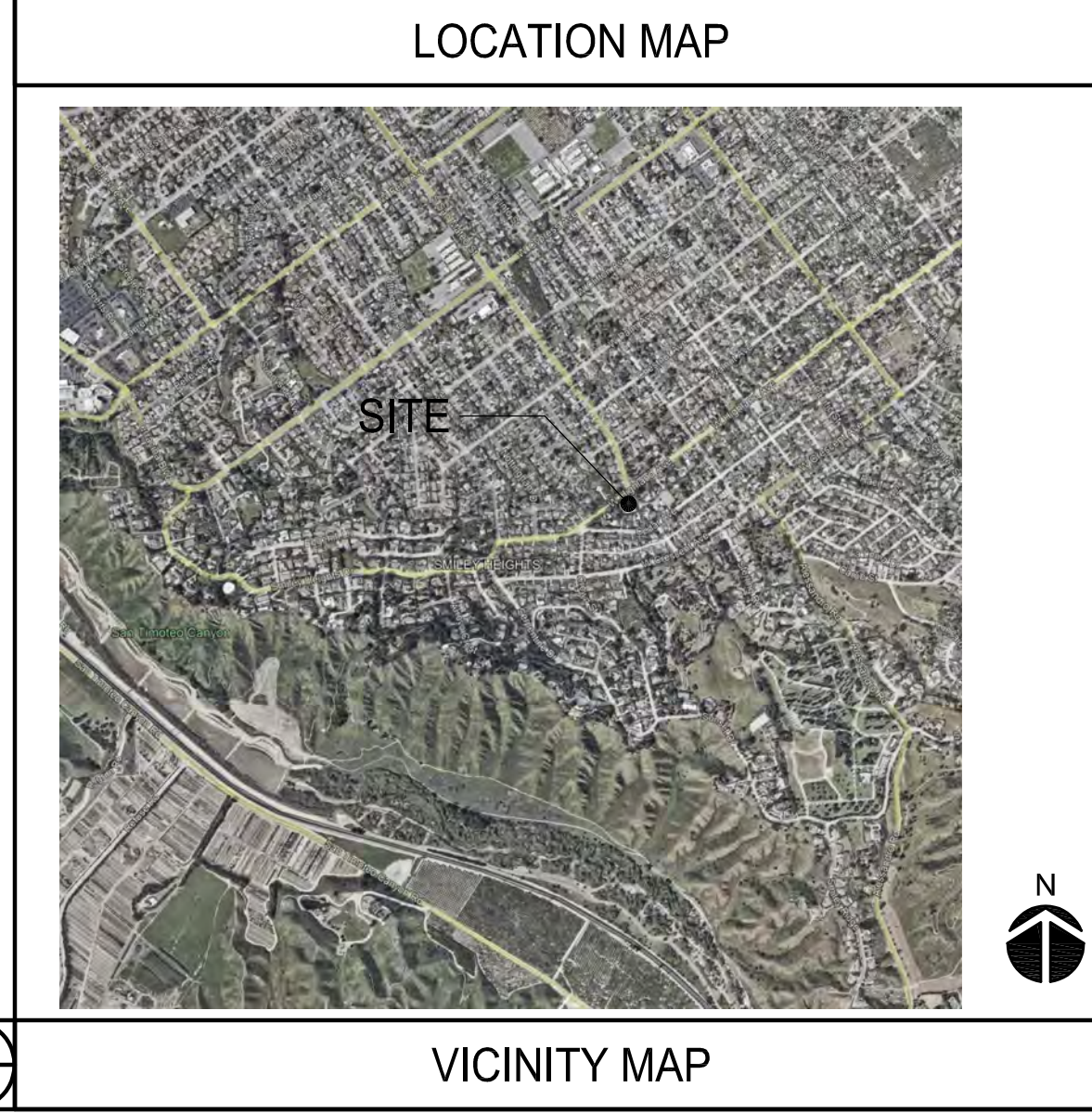
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PROJECT DIRECTORY table with columns: TITLE SHEET AND SITE REFERENCE MAP, DEMOLITION AND NEW WORK PLANS, EXTERIOR ELEVATIONS & BUILDING SECTION, GENERAL NOTES & DETAILS, FOUNDATION PLAN & DETAILS, ROOF FRAMING PLAN & DETAILS

SHEET INDEX



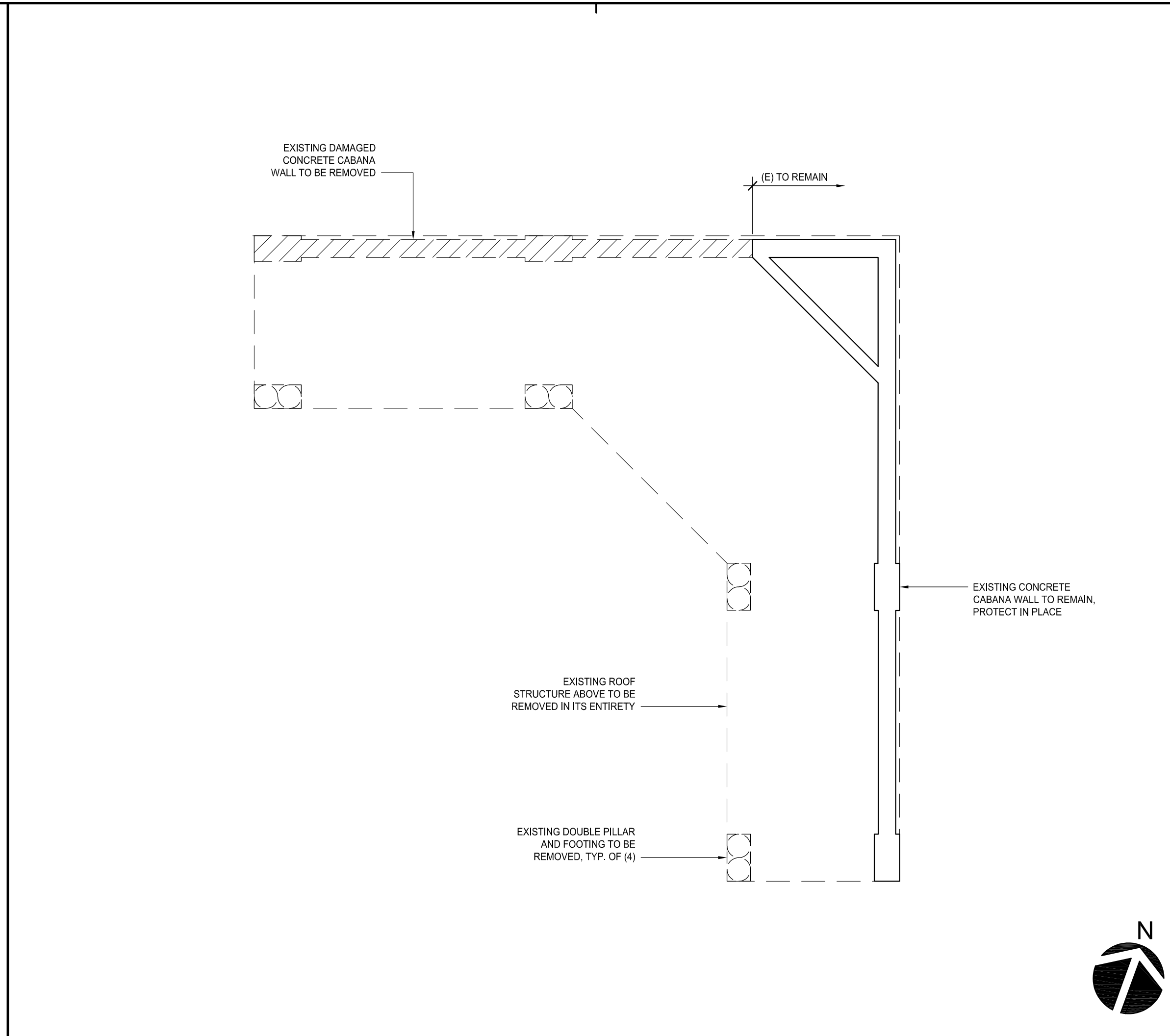
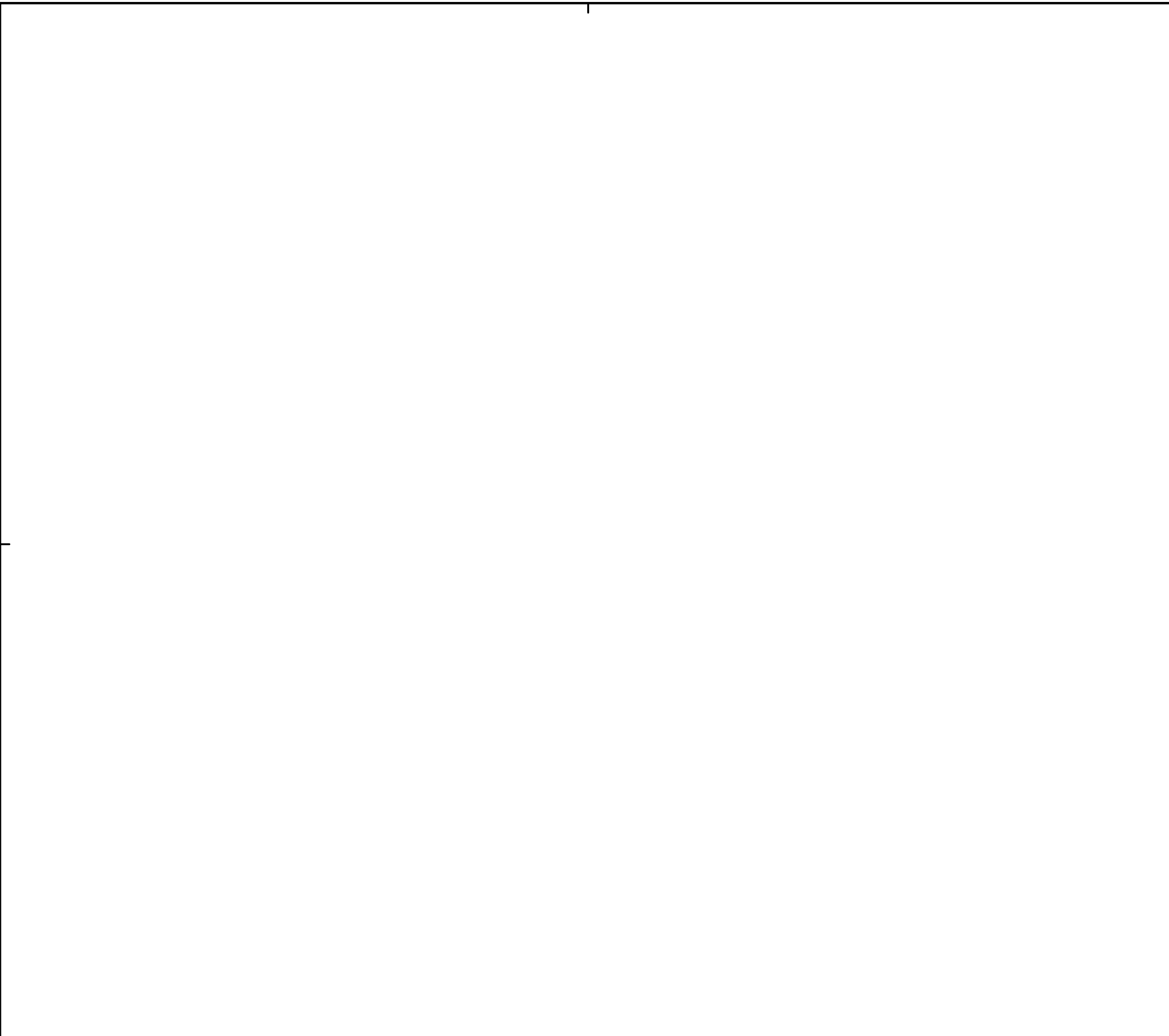
SITE DATA: APN: 0175-091-03-0000. LEGAL DESCRIPTION: REDLANDS HEIGHTS MAP NO 11 PTN LOTS 30 AND 32 BLK 67 REDLANDS HEIGHTS MAP NO 11 PTN LOT 9 BLK V COMAT NE COR LOT 32 BLK 67 REDLANDS HEIGHTS MAP NO 11 ON S LI HIGHLAND AVE TH SE TO SE COR SD LOT 32 TH S 13 DEG 44 MIN E 2.60 FT TH S 63 DEG 10 MIN 4 35.76 FT TH N 87 DEG 30 MIN W 24 FT TH S 5 DEG 20 MIN W 20.02 FT TH N 87 DEG 30 MIN W 111.50 FT TH N 28 DEG 35 MIN W 113.82 FT TO S LI HIGHLAND AVE TH NE ALG S LI HIGHLAND AVE 164.08 FT TO POB. ZONING/USE: R-1 (RESIDENTIAL SINGLE FAMILY). LOT SIZE: 23,944 SQ. FT. (0.55 ACRES). BUILDING DATA: STRUCTURE AREA: EXISTING 370 SQ. FT., DEMOLITION 325 SQ. FT., AREA OF WORK 342 SQ. FT., NEW TOTAL: 342 SQ. FT. CONSTRUCTION TYPE: V-B. OCCUPANCY TYPE: U (NOT AN ENCLOSED STRUCTURE). STORIES: ONE. FIRE SPRINKLERS: NO.



APPLICABLE CODES: 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA FIRE CODE (CFC), 2022 CALIFORNIA EXISTING BUILDING CODE (CEBC), 2022 CALIFORNIA HISTORICAL BUILDING CODE (CHBC), 2022 CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN), 2022 CALIFORNIA ENERGY CODE, 2022 CALIFORNIA ADMINISTRATIVE CODE, 2022 CALIFORNIA REFERENCED STANDARDS CODE, CITY OF REDLANDS MUNICIPAL CODE.

Project Information: Project Number: 23-501-15, Drawn By: B.H., Checked By: B.H., Issued For: PLAN CHECK REVIEW, Date Issued: 11/28/2023. Revisions table with columns: #, Comment, Date. Sheet Name: TITLE SHEET & SITE REFERENCE MAP. Sheet Number: T1.0

Vertical text: REPAIR AND RECONSTRUCTION OF EXISTING CONCRETE CABANA, 1205 WEST HIGHLAND AVENUE, REDLANDS, CALIFORNIA 92373, APN: 0175-091-03-0000, STEPIEN RESIDENCE, 1205 WEST HIGHLAND AVENUE, REDLANDS, CALIFORNIA 92374



- DEMOLITION NOTES**
- ANY ITEMS NOT CALLED OUT FOR DEMOLITION OR REMOVAL ARE TO REMAIN AND TO BE PROTECTED IN PLACE. THIS INCLUDES, BUT IS NOT LIMITED TO, WALLS, CEILINGS, AND FLOOR FINISHES. PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION.
  - ALL EXISTING AREAS TO REMAIN THAT ARE DAMAGED BY DEMOLITION OR NEW CONSTRUCTION WORK SHALL BE REPLACED, REPAIRED, OR PATCHED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR.
  - EXCESS DOORS, HARDWARE, ELECTRICAL FITTINGS, FLOORING FINISHES, AND OTHER SALVAGEABLE MATERIAL TO BE STORED OR DISPOSED OF AS DIRECTED BY THE OWNER.
  - IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS OR VOIDS IN THE FLOOR, PATCH AND LEVEL THE FLOOR WITH THE EXISTING SLAB AND/OR ADJACENT SURFACE PRIOR TO THE INSTALLATION OF FINISH FLOOR.
  - BRACE AND SUPPORT EXISTING WORK AS REQUIRED PRIOR TO AND DURING DEMOLITION AND NEW CONSTRUCTION UNTIL IT IS SAFE TO REMOVE SUCH BRACING AND SUPPORT.
  - UPON COMPLETION OF THE DEMOLITION WORK, ENSURE ALL AREAS ARE LEFT IN BROOM CLEAN CONDITION.
  - ANY DAMAGE TO NEW AND EXISTING CONSTRUCTION, STRUCTURE OR EQUIPMENT SHALL BE REPAIRED OR REPLACED.

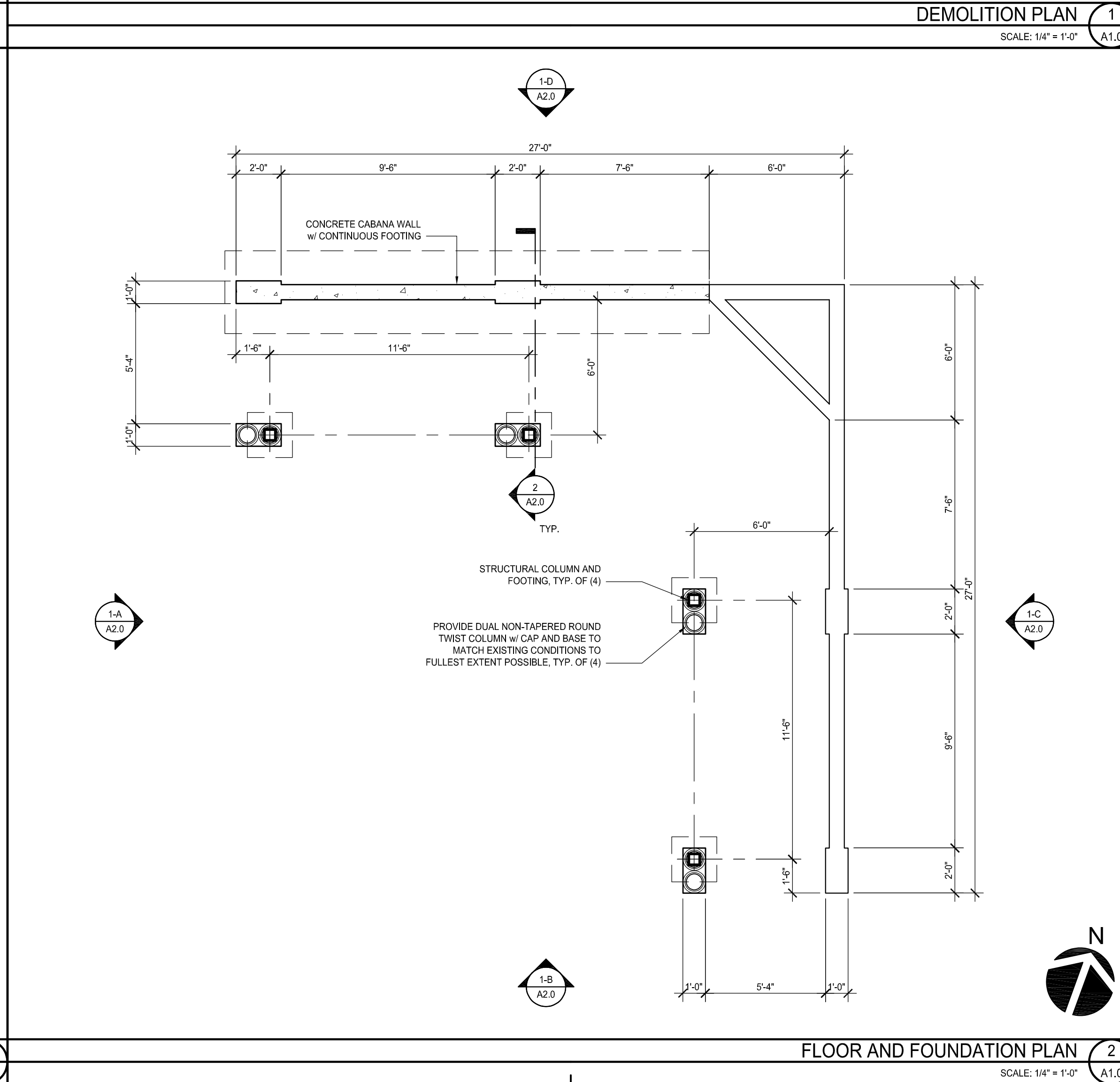
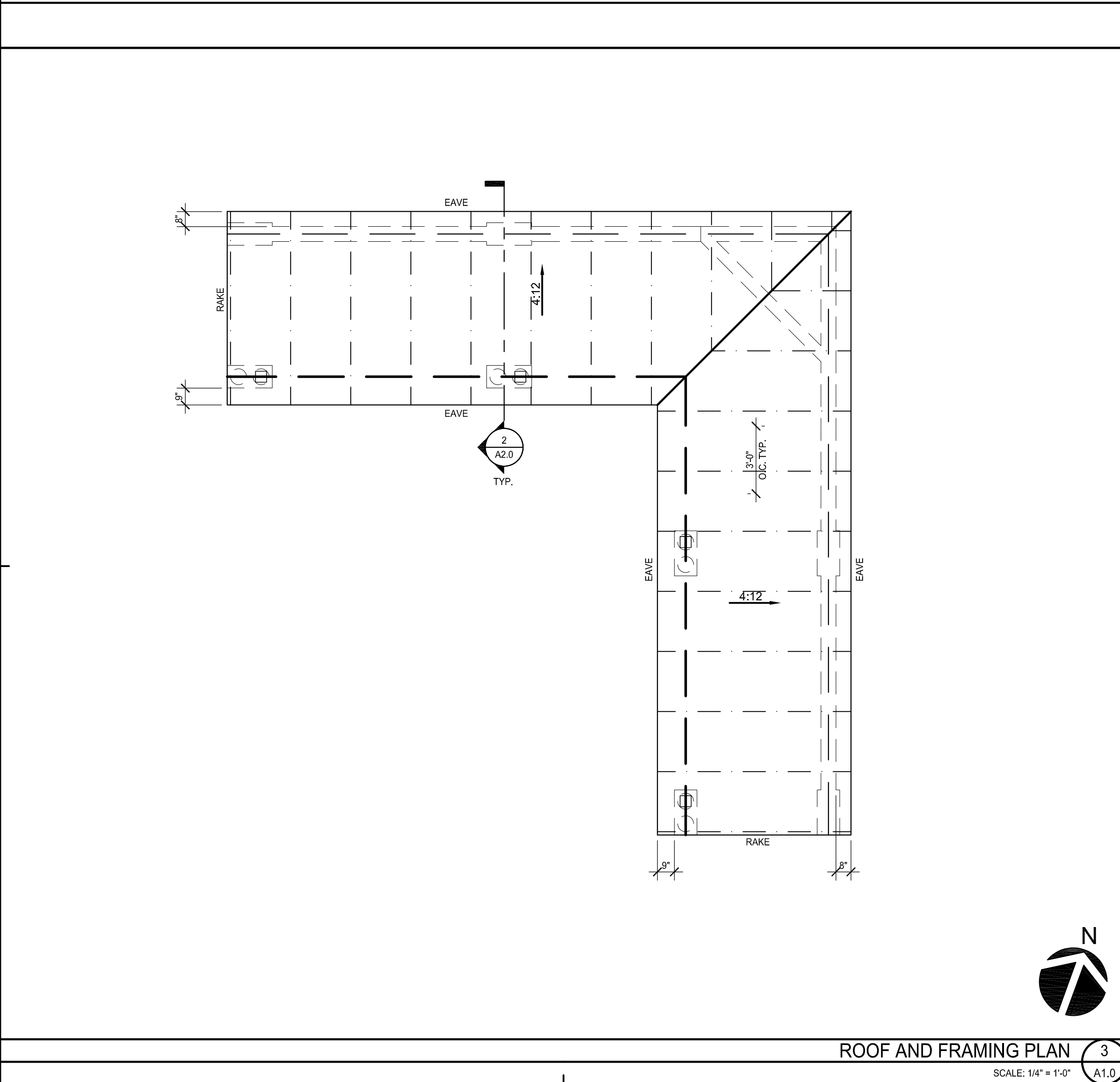


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- DEMOLITION NOTES**
- QUANTITIES LISTED ON THESE DOCUMENTS ARE FOR AGENCY APPROVAL ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES FOR BIDDING PURPOSES.
  - VERIFY EXISTING DIMENSIONS WITHIN SCOPE OF WORK PRIOR TO CONSTRUCTION.
  - ALL NEW WORK SHALL CONFORM TO CURRENT BUILDING STANDARDS, UNLESS NOTED OTHERWISE.
  - PROVIDE SMOOTH AND FLUSH TRANSITION BETWEEN NEW AND EXISTING CONCRETE SURFACES.

REPAIR AND RECONSTRUCTION OF EXISTING CONCRETE CABANA

1205 WEST HIGHLAND AVENUE  
REDLANDS, CALIFORNIA 92373  
APN: XXXXX-XXX

STEPHEN RESIDENCE

1205 WEST HIGHLAND AVENUE  
REDLANDS, CALIFORNIA 92374

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Revisions:

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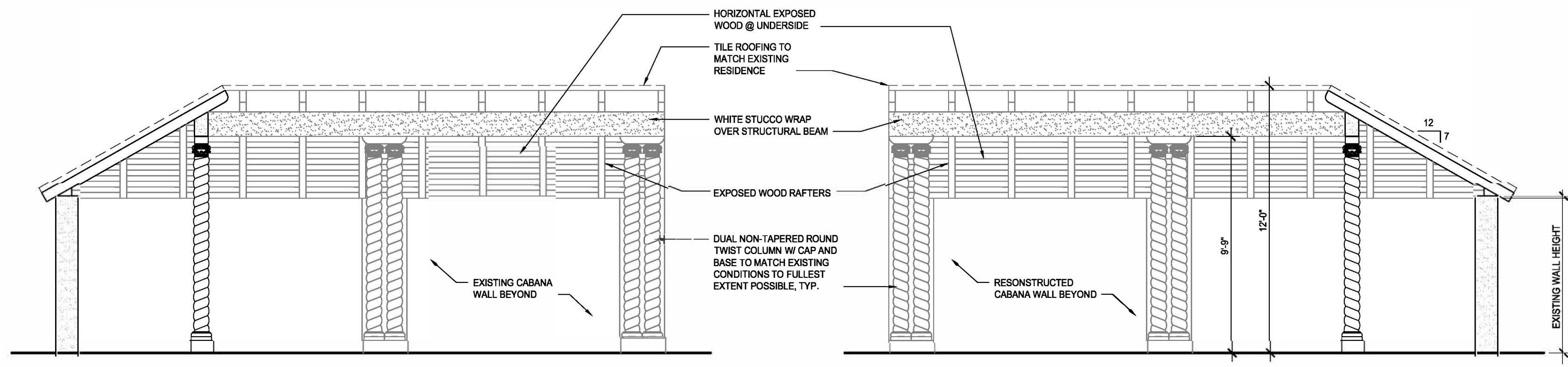
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DEMOLITION & NEW WORK PLANS

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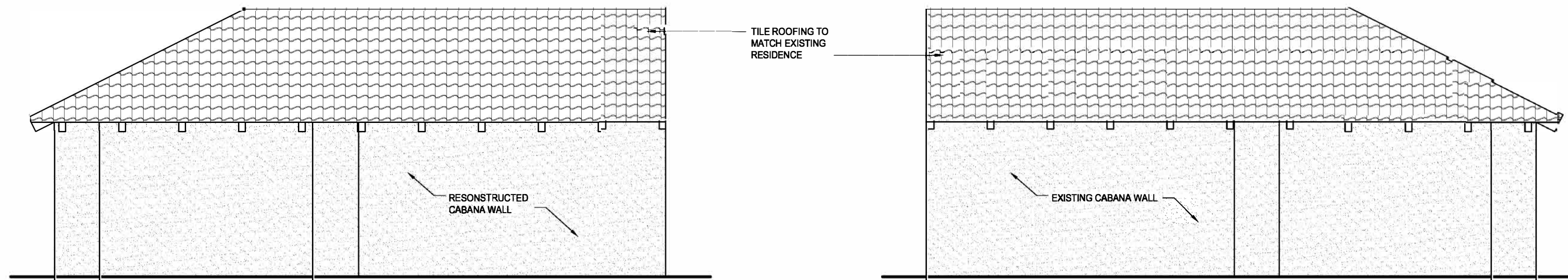
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A - SOUTH ELEVATION (VIEWED FROM INTERIOR OF LOT)

B - WEST ELEVATION (VIEWED FROM INTERIOR OF LOT)

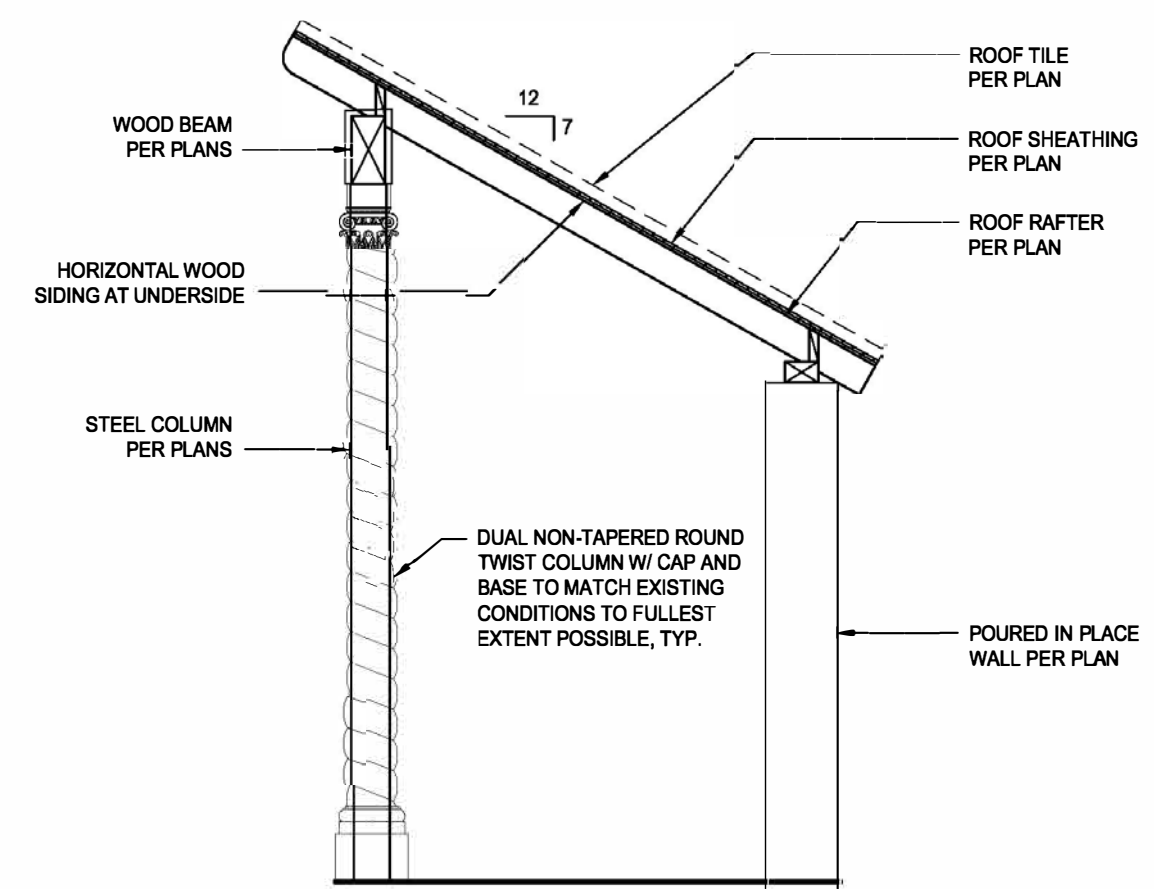


D - EAST ELEVATION

C - NORTH ELEVATION (VIEWED FROM STREET)

EXTERIOR ELEVATIONS 1

SCALE: 1/4" = 1'-0" A2.0



BUILDING SECTION 2

SCALE: 3/8" = 1'-0" A2.0



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REPAIR AND RECONSTRUCTION  
OF EXISTING CONCRETE CABANA

1205 WEST HIGHLAND AVENUE  
REDLANDS, CALIFORNIA 92373  
APN: 263003000

STEPHEN RESIDENCE

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Sheet Name:

EXTERIOR  
ELEVATIONS &  
BUILDING SECTIONS

Sheet Number:

**A2.0**

GENERAL NOTES