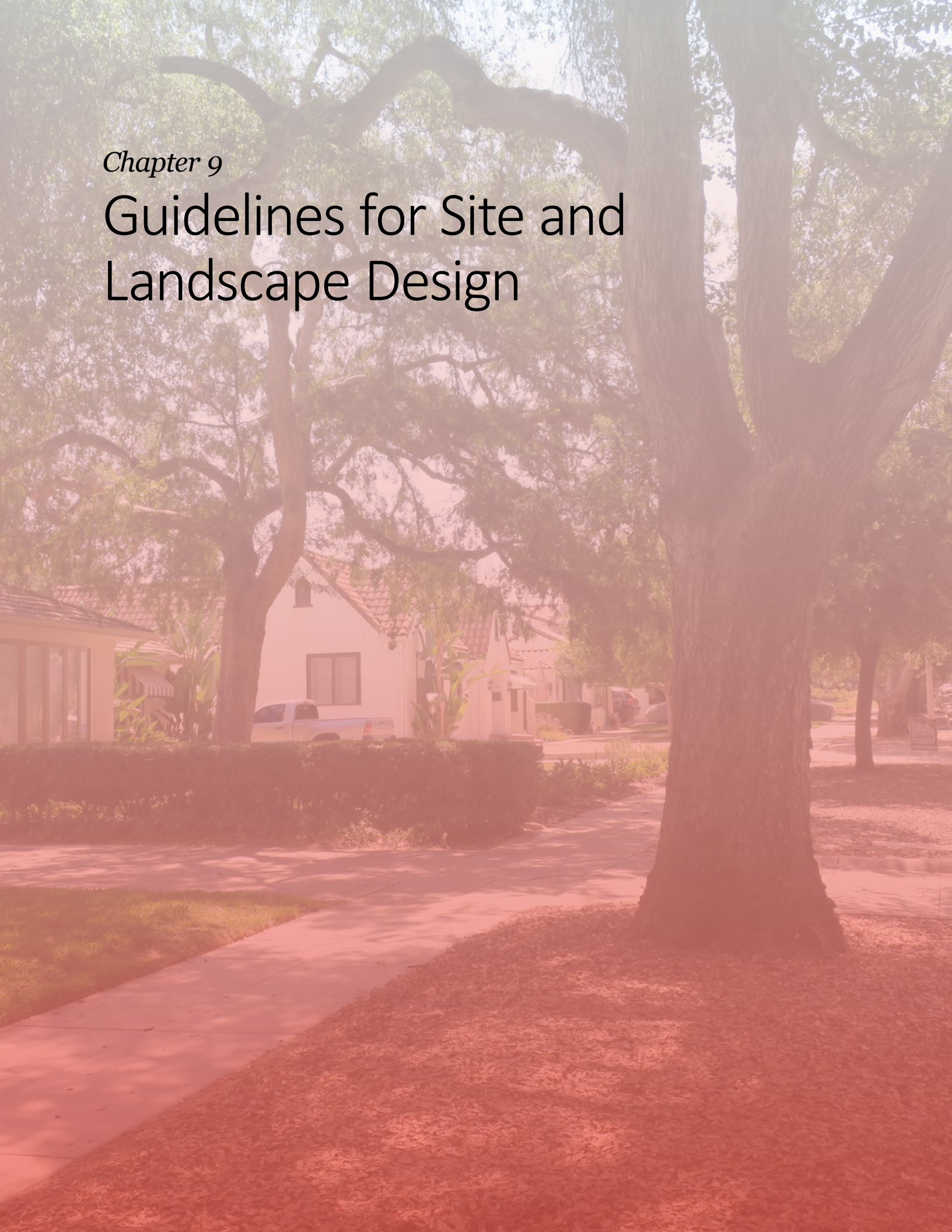


Chapter 9

Guidelines for Site and Landscape Design



Chapter Overview

Redlands' historic site and landscape features, from cut stone curbing to mature trees to estate perimeter walls, are important contributors to its architectural and aesthetic character. This chapter provides general guidelines for the preservation, maintenance, repair, replacement, and restoration of these features, organized by residential, commercial, and municipal types. It also offers specific guidelines for altering or adding to historic site and landscape features.

Use This Chapter If...

- You own a historic property and a landscaping or yard feature, such as a mailbox or walkway, is in need of repair or replacement.
- You would like to restore your building's historic landscape or yard features to match their historic design.
- Your historic landscape or site feature(s) have been altered over time, and you are interested in introducing a new design that is compatible with the historic property or historic district.

What's Inside...

Residential Site and Landscape
Commercial Site and Landscape
Municipal Site and Landscape

Residential Site and Landscape

Treatment Guidelines

This section addresses the treatment of historic residential site features. In Redlands, these features may include trees, landscaping, fences, perimeter walls, retaining walls, walkways, steps, terraces, driveways, curbs, fountains, and freestanding mailboxes and light fixtures. These features may have been constructed during the same time as their associated historic building or added to the site at an early date. Their design typically relates to the main building in style, form, material, and finish, and often reflects specific adaptation to a topographical setting. These features extend the visual continuity of the house to the street. Similar to the main building, proper treatment of site features is important to preserving the character and integrity of historic resources in Redlands. However, due to their secondary, subordinate nature, there is greater flexibility in their treatment.



Stone pillars mark a historic subdivision entrance.

Preserve

- A historic site feature is an important residential architectural component worthy of preservation.
- Preserve the location, design, scale, form, and materials of a historic site feature.
- Preserve a historic site feature's relationship with a connection to the primary building.
- Avoid demolishing a historic site feature, as it helps to convey the primary building's history.
- Prioritize the preservation of mature citrus trees and arroyo stone features, which uniquely convey the community identity of Redlands.



An arroyo stone retaining wall defines the Garden Hill district.

Maintain

- Maintain a historic site feature to prolong its life and protect investments made in its construction and repair.
- Site maintenance may include resetting stone or pavers, removing debris, pest control, low-pressure water washing, cleaning by hand, painting, protecting or other light treatments, as required.
- Landscape maintenance may include removing weeds, pruning, and watering.

Residential Site and Landscape

Treatment Guidelines

Repair

- Repair a historic site feature when the physical condition warrants additional work.
- Repair work may include patching, splicing, consolidating, chemical cleaning, stripping and repainting, repointing or other treatments in order to repair and stabilize the historic materials or appearance. Seek the gentlest repair solution possible.
- Repair may also include selective replanting or replacement of pavers in kind; or removal of deteriorated concrete and pouring new concrete to match the adjacent context.
- All repair work should match the materials and finishes of the existing historic features as closely as possible.



Mature trees or shrubs may be historic landscape features.

Replace

- Replace a historic site feature only when deteriorated beyond repair.
- Replacement features should be compatible with the existing historic site features in material, size, finish, and overall character.
- Use existing planting beds, paths, and holes for new features or fixtures where possible.
- New landscaping should match the original design intent, and hardscape, grading, and plantings in kind.
- Use of alternative compatible materials may be appropriate at historic site features located at the rear or secondary façades, not readily visible from the public right-of-way.



A new fence should be modest in size and appearance.

Restore

- Restore non-historic components on a site feature to their original condition.
- Restoration may include the replacement of completely missing historic site features based on physical or historic documentation, with the same materials or compatible substitutes.
- Avoid adding conjectural features that may create a false sense of history.



Maintain the proportions of historic hardscape to landscape.

Residential Site and Landscape

Treatment Guidelines



A low retaining wall painted to match the historic building is a compatible landscape alteration.



Match new concrete to adjacent concrete.



Avoid installing site features where they did not exist historically.

Alterations and Additions to Residential Site Features

- It may be appropriate to alter or construct a new site feature if the original is missing and cannot be discovered from historic documentation, or if it is required for the continued use or adaptive reuse of a property.
- New site features should be constructed in areas not readily visible from the public right-of-way, if possible.
- If an alteration or addition is required, it should be compatible in form, scale, style, and material to the overall site or similar sites in age and type, but contemporary in design so as not to create a false sense of history.
- New landscaping should protect the roots of existing mature trees.
- If new concrete sidewalk or driveway paving is required, the new concrete should match the tint, scouring pattern, and dimensions of the adjacent sidewalk and/or neighborhood context. If possible, use pervious concrete.

See the Energy Conservation and Environmental Sustainability section of Chapter 4 for more information about pervious concrete.

- Any stone curbs should be preserved or replaced in kind.
- If a new fence is required, it should be aligned with the property line and low in height so as not to obscure the existing historic building.
- The material, ornament and color of a new fence should be appropriate to the style and period of the building.

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Commercial Site and Landscape

This section addresses special considerations for historic commercial site features. In Redlands, these features may include landscaping, walkways, steps, patio, railings, driveways, parking lots, alleys, and service areas. These features are typically utilitarian, as compared to decorative site features of residential buildings, and they extend the function of the commercial building into the public sphere. Proper treatment of commercial site features is important to preserving the character and integrity of historic resources in Redlands. However, due to their secondary and utilitarian nature, there is greater flexibility in their treatment.



A metal fence defines the side yard of this commercial property.



A red brick walkway gives a uniform appearance to the State Street commercial area.

Special Considerations for Historic Commercial Site Features

- Preserve, maintain, repair, or restore original landscaping, paving elements, or other unique site features that convey the historic use or character of the building or its surrounds.
- Utilitarian site features, such as driveways and alleyways, should remain utilitarian in character and design.
- New landscaping, paths, and driveways should be compatible with the neighborhood context. For example, commercial buildings within a predominantly residential neighborhood should adhere to residential site features, such as landscaped front yards and side driveways with rear parking.
- If new concrete sidewalk or driveway paving is required, the new concrete should match the tint, scouring pattern, and dimensions of the adjacent sidewalk and/or neighborhood context. Any stone curbs should be preserved or replaced in kind.
- If a new sidewalk, patio, or alleyway café is required, it should be set within the property line and have movable, free-standing tables and chairs, stanchions, and potted plants.
- New railings or stanchions should be metal, low in height, and transparent so as not to obscure the historic commercial building.

Municipal Site and Landscape

This section addresses special considerations for historic municipal site features. In Redlands, these features may include street trees, streetlights, concrete sidewalks, cut stone curbs, retaining walls, culverts, and canals, such as Redlands' historic zanja. These features are typically utilitarian and historically served an important function for the entire community. Proper treatment of municipal site features is important to preserving the function, character, and integrity of historic resources in Redlands.

Special Considerations for Historic Municipal Site Features

- Preserve, maintain, repair, or restore original landscaping, paving elements, and stone irrigation features that convey the historic use or character of the building or community.
- New landscaping, paths, driveways, and accessory features required should be compatible with the neighborhood context.



Stone-lined ditches and culverts are found throughout Redlands.



Mature trees and remnant citrus groves define portions of the city's streetscape. Note the alignment of a major corridor oriented toward a prominent mountain peak in the distance, and framed by rows of mature palm trees, which is an extant representation of the city's historic original street grid plan from the late 1800s.