

Chapter 6

Guidelines for Character Categories



Chapter Overview

Redlands reflects a variety of different development patterns, each of which contributes to the unique character and feeling of the city. In order to address these patterns of development, seven Character Categories have been identified throughout the city. Each Character Category is defined by its distinctive design features, including siting, orientation, vehicular and pedestrian access, and typical building design characteristics in the area. Some of the Character Categories apply to multiple geographic locations within the city, whereas others are confined to one location.

This chapter provides guidance for each identified Character Category in Redlands. Each Character Category includes a description of its general geographic location(s), its current development character, including property types and distinguishing features, illustrations of representative development, and detailed descriptions of design variables that should be considered. All of Redlands' currently designated historic districts lie within Character Categories, and have specific design guidelines beyond those outlined below – see Ch. 6 - Guidelines for Historic District for these specific guidelines.

Use This Chapter If...

- You own a building in an older residential neighborhood or commercial district and want to ensure your planned remodel is compatible with the character of the other older buildings in the area.
- You are constructing a new building in an older neighborhood and want to make sure the building's design and site features are compatible with the character, scale, and massing of adjacent older buildings.

What's Inside...

Character Category A: Pre-War Residential Neighborhoods
Character Category B: Post-War Developer-Built Single-Family Neighborhoods
Character Category C: Post-War Custom-Built Single-Family Neighborhoods
Character Category D: Post War Multi-Family Residential Development
Character Category E: Downtown Commercial Development
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Character Category or Historic District?

The terms Character Category and Historic District are not interchangeable. A Character Category is a neighborhood, development type, and/or location which contains buildings and site features reflecting Redlands' historic patterns of development, but has not been formally designated as a historic district. Not every neighborhood in a Character Category may be eligible for designation, but they typically retain original site features and their overall development pattern is still recognizable.

A Historic District is a geographically defined area which contains buildings and site features reflecting Redlands' historic patterns of development and/or historic architectural character, and has also been formally designated as a historic district (local, National Register, or both). See Chapter 7 for more information about Redlands' Historic Districts

A. Pre-World War II Residential Neighborhoods

Introduction & Context

Character Category A encompasses residential neighborhoods constructed from Redlands' founding in the late 19th century to the years leading up to World War II. This Character Category is primarily defined by single-family residences (including some postwar infill). Small-scale multi-family properties (i.e. bungalow courts, duplexes, and small apartment houses), a handful of institutional buildings, and some commercial businesses located in historically residential buildings are present as well. Neighborhoods concentrated near Downtown and north Redlands comprise Character Category A.



A pre-war neighborhood in north Redlands.

Character Category A is defined by its gridded street pattern (northwest/southeast angle near Downtown and north/south orientation in north Redlands), paved streets of varying widths, concrete sidewalks, and cut stone curbs. Lot sizes are generally small and uniform (lots are larger and less regular on major east-west streets), and residences are oriented toward and parallel to the street. Front and side setbacks are typically uniform by street/block, but vary by residential neighborhood. Garages are located at the rear of properties and are typically accessed via narrow concrete driveways (some are accessed via alleys). Front yards are landscaped, often including a concrete pathway from the sidewalk to the front porch. Front yard fences and perimeter walls are rare, though some native stone or concrete retaining walls are present.

Buildings in this Character Category are typically one or two stories. They feature highly articulated front façades, with complex rooflines, recessed or projecting entrance porches, multiple window openings, and various architectural details. Buildings are primarily clad in horizontal wood or stucco, sometimes with masonry accent cladding. Windows and doors are primarily made of wood. A number of architectural styles are present, including various Victorian Era, Arts and Crafts, and Period Revival idioms.

For properties located in a predominantly pre-World War II residential neighborhood, but that do not fit this development context (i.e. post-World War II property types), the following Guidelines for the Treatment of Building Design Elements may not apply.

A. Pre-World War II Residential Neighborhoods

Guidelines for the Treatment of Site Design Elements

Building Placement

- Align the building with the established front setbacks on the block, which are typically uniform in Character Category A.

Side Setbacks

- Provide side setbacks in the range of those seen on the block. Typically, a larger setback is present on one side of a building to allow for vehicular access from the street, and the setback on the opposite side is relatively narrow. This pattern should generally be maintained.

Orientation

- The building should be parallel to and oriented toward the street.

Garage Placement

- Place the garage behind the rear façade of the primary residence wherever feasible. If siting the garage entirely behind the residence is not possible, set the garage back from the primary façade of the building so that it remains subordinate to the building.
- Generally, a garage should not be flush with or project in front of the primary residence in this Character Category.

Vehicular Access

- Provide vehicular access to the primary residence via a side driveway.
- Where an alley is present, a detached garage should be accessed via the alley, rather than a driveway.
- Avoid adding curb cuts and driveways when they are not present on the block in order to maintain the original streetscape and yard patterns in the area. Similarly, avoid expanding curb cuts and driveways.



Residences in pre-war neighborhoods typically retain uniform setbacks from the street.



Pre-war residential garages are typically located at the rear of the property.

A. Pre-World War II Residential Neighborhoods

Guidelines for the Treatment of Site Design Elements

Historic Districts Within Character Category 1

Almost all of Redlands' existing designated Historic Districts fall under Character Category A:

- Eureka Street Historic District
- West Highland Avenue Historic & Scenic District
- Early Redlands Historic & Scenic District
- Normandie Court Historic District
- East Fern Avenue Historic & Scenic District
- Garden Hill Historic & Scenic District
- La Verne Street Historic & Scenic District
- Smiley Park Neighborhood Historic & Scenic District

Refer to Chapter 7 for design guidelines specific to each of these Historic Districts and to Chapter 8 for design guidelines on new construction in residential Historic Districts.

Pedestrian Access

- Provide a direct connection from the sidewalk to the building's primary entrance via a paved pathway through the front yard.
- In the case of a small-scale multi-family development, such as a bungalow court, each apartment unit should be connected to an internal pathway system that ultimately leads to the sidewalk.

Front Yard Fence

- As most front yards in this Character Category do not retain fences, a front yard fence is discouraged. However, if a front yard fence is necessary or desired, the fence should be compatible with the architectural style of the primary residence (for example, vinyl or other incompatible materials are not appropriate and do not meet SOI Standards) and fences should not dominate the streetscape.
- The front yard fence should generally be low in scale and visually transparent. Fencing material may vary depending on the style of the building.

Retaining Wall

- A retaining wall, if required, should be designed to match other existing retaining walls in this Character Category and should be finished in the same material as the house (typically stucco or stone).



A direct connection to the sidewalk via a paved path is characteristic of houses in Redlands' pre-war neighborhoods.

A. Pre-World War II Residential Neighborhoods

Guidelines for the Treatment of Building Design Elements

Scale and Massing

- Design the building to be compatible with the scale and massing of the predominant one- to two-story residences in the Character Category.

Roof Form

- The building’s roof type and pitch should be compatible with the architectural style of the building.

Façade Composition

- Design the building so that its façades, particularly its primary façade and those most visible from the public right-of-way, retain similar proportions, fenestration pattern, and level of articulation as others in the Character Category.
- The building’s architectural detailing should be compatible with surrounding residential properties. Details should be simple in design and should complement, rather than visually compete with, the character of adjacent residences.

Entrance Porch or Stoop

- Design a projecting or recessed entrance porch or stoop at the primary façade of the building.
- The front porch/stoop should be one-story in scale and oriented toward the street.
- The building’s front porch/stoop should be a prominent visual feature in Character Category A.

Exterior Materials

- Apply a primary cladding material that is compatible with the wood siding and stucco typically present in the Character Category. If a substitute material is used, choose a material that is similar in finish, texture, and overall appearance as wood or stucco siding.



A one-and-half story residence, typical of Redlands’ pre-war neighborhoods.



An full-width entrance porch is a prominent feature of houses in Redlands’ in pre-war neighborhoods.

A. Pre-World War II Residential Neighborhoods

Guidelines for the Treatment of Building Design Elements



Vertically oriented, double-hung wood windows are typical of houses in the city's pre-war neighborhoods.

Windows

- Design a new window to be compatible in scale, style, and material to the overall building or similar buildings in age and type.
- A typical window in this Character Category has a vertical orientation and may be a wood double-hung or wood/steel casement depending on the age and style of the building.

Doors

- Design the building with one primary, street-facing entrance.
- Design a new door to be compatible in scale, style, and material to the overall building or similar buildings in age and type.
- A typical door in this Character Category is a single wood door, sometimes with paneling and/or glazing. A rectangular transom and/or sidelights may be appropriate.



Single wood doors with paneling and glazing are common features of pre-war houses in Redlands.

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B. Post-War Developer-Built Single-Family Neighborhoods

Introduction & Context

Character Category B encompasses single-family residential neighborhoods constructed immediately after World War II through the 1960s. It includes neighborhoods southeast and southwest of Downtown and to a lesser extent, in north Redlands. Single-family residences are the predominant property type in Character Category B.



A developer-built subdivision in southeast Redlands.



A cul-de-sac is a defining feature of Redlands' postwar subdivisions.

Redlands' developer-built subdivisions largely follow the design principles that had been set forth by the Federal Housing Administration (FHA) in the postwar period, a requirement in order for developer plans to guarantee FHA financing. FHA design principles included the incorporation of cul-de-sacs; minimal numbers of four-way intersections; and curvilinear streets (though some postwar subdivisions, particularly in north Redlands, follow the gridded street pattern of the city's earlier development). While all of the neighborhoods in this Character Category feature concrete sidewalks, the type of curb (cut stone or concrete) varies. Lot sizes are generally modest, and front and side setbacks are consistent. Residences in Character Category B are oriented toward and parallel to the street. Garages may be attached to the residence, or in the case of earlier postwar subdivisions, detached at the rear of the property. Vehicular access is provided via a concrete driveway, or if the garage is detached, via an alley (a less common pattern). Front yards are landscaped, often including a concrete pathway from the sidewalk to the primary entrance. Front yard fences are rare.

Buildings in these postwar residential neighborhoods are typically one story in height. Front façades are less articulated than the façades of prewar houses, with modest porches or entrance stoops and minimal applied ornamentation. Buildings are primarily clad in wood and/or stucco, sometimes with masonry accent cladding. Windows may be constructed of wood or metal, whereas front doors are primarily wood. Prevalent architectural idioms include Minimal Traditional and various iterations of the Ranch style.

For properties located in a predominantly post-World War II residential neighborhood, but that do not fit this development context (i.e. pre-World War II or modern property types), the following Guidelines for the Treatment of Building Design Elements may not apply.

B. Post-War Developer-Built Single-Family Neighborhoods

Guidelines for the Treatment of Site Design Elements

Building Placement

- Align the building with the established front setbacks on the block, which are typically uniform in Character Category B.

Side Setbacks

- Provide side setbacks in the range of those seen on the block. Side setbacks are generally narrow in Character Category B.
- In some neighborhoods in Character Category B, a larger setback is present on one side of a building to allow for vehicular access from the street to a rear detached garage; the setback on the opposite side is relatively narrow. This pattern, when present, should generally be maintained.

Orientation

- The building should be parallel to and oriented toward the street.

Garage Placement

- Conform to the typical garage placement present on adjacent properties.
- If neighboring garages are attached, the building's garage should be attached.
- If surrounding garages are detached, the building's garage should also be detached. A detached garage should be placed behind the rear façade of the primary residence wherever feasible. If siting the garage entirely behind the residence is not possible, set the garage back from the primary façade of the building so that it remains subordinate to the building.

Vehicular Access

- Provide vehicular access to the attached/detached garage via a driveway. The placement and configuration of the driveway may vary.



Houses in Redlands' postwar neighborhoods typically retain uniform setbacks from the street.



Postwar developer-built residences, like this Ranch style house, are typically parallel to and oriented toward the street.

B. Post-War Developer-Built Single-Family Neighborhoods

Guidelines for the Treatment of Site Design Elements



A paved walkway provides pedestrian access from the sidewalk to the front entrance of this postwar residence.

Pedestrian Access

- Provide a direct connection from the sidewalk to the building's primary entrance via a paved pathway through the front yard.

Front Yard Fence

- As most front yards in this Character Category do not retain fences, a front yard fence is discouraged. However, if a front yard fence is necessary or desired, the fence should be compatible with the architectural style of the building.
- The front yard fence should generally be constructed of wood, low in scale, and visually transparent.

Retaining Wall

- A retaining wall, if required, should be designed to match other existing retaining walls in this Character Category and should be finished in the same material as the house (typically stucco or stone).



The front yards of most postwar houses in the city are not fenced.

B. Post-War Developer-Built Single-Family Neighborhoods

Guidelines for the Treatment of Building Design Elements

Scale and Massing

- Design the building to be compatible with the scale and massing of the predominantly one-story, horizontally oriented residences in the Character Category.

Roof Form

- The building should be designed with a low- to medium-pitch, gable or hipped roof, compatible with the architectural style of the building and other buildings in the area.
- Maintain the continuous eave line of the roof.

Façade Composition

- Design the building so that its façades, particularly its primary façade and those most visible from the public right-of-way, retain similar proportions, fenestration pattern, and level of articulation as others in the Character Category.
- Applied ornamentation should be minimal in Character Category B.

Entrance Porch or Stoop

- Incorporate an entrance porch or stoop into the primary façade of the building.
- The porch or stoop should be modest in scale, with minimal articulation.

Exterior Materials

- Apply a primary cladding material that is compatible with the wood siding and stucco typically present in the Character Category. If a substitute material is used, choose a material that is similar in finish, texture, and overall appearance as wood or stucco siding.



Postwar developer-built houses are typically one story with horizontal massing.



An example of stucco cladding and stone accent cladding, typical of houses in Redlands' postwar neighborhoods.

B. Post-War Developer-Built Single-Family Neighborhoods

Guidelines for the Treatment of Building Design Elements



Aluminum sliders are a common window type for postwar houses.



An example of an attached garage, a common characteristic of the city's postwar residences.

Windows

- Design a new window to be compatible in scale, style, and material to the overall building or similar buildings in age and type.
- A typical window in this Character Category may be a wood double-hung or steel casement, or an aluminum slider depending on the age and style of the building. A single multi-light picture or bay window may also be appropriate.

Doors

- Design the building with one primary, street-facing entrance.
- Design a new door to be compatible in scale, style, and material to the overall building or similar buildings in age and type.
- A typical door in this Character Category is a single or double, solid or partially glazed wood door with no paneling or with simple geometric paneling. A rectangular transom and/or sidelight(s) may be appropriate.

Attached Garage

- Install a garage door that is compatible with the configuration, proportions, and material of those found in the Character Category.
- A typical garage door in this Character Category is a single-panel, wood tilt door or a metal roll-up door. There is simple geometric paneling or design, or no paneling at all, and doors typically have no glazing.

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C. Post-War Custom-Built Single-Family Neighborhoods

Introduction & Context

Character Category C encompasses single-family subdivisions consisting of custom-built, single-family residences dating from the 1950s through the 1970s. Less common than the developer-built subdivisions in Character Category B, neighborhoods in this Character Category are concentrated in the hillsides southeast of Downtown. These subdivisions are defined by their curvilinear street pattern; long blocks; wide paved streets, often featuring cul-de-sacs; concrete curbs; and general lack of sidewalks. Lot sizes are typically large and irregularly shaped, and front and side setbacks vary from lot to lot. The orientation and alignment of residences also vary. Garages are typically attached to the primary residence and accessed via a wide concrete driveway leading from the street. Concrete walkways provide a path to the primary entrance from the driveway or the sidewalk. Front yards are landscaped, and front yard fences are rare. Concrete retaining walls are common in hilly areas.



A winding custom-built subdivision along Sunset Drive in south Redlands.

Buildings in this Character Category are typically one story in height, with a few two-story properties. Front façades are less articulated, with subdued entryways and minimal ornamentation. Buildings are primarily clad in wood and/or stucco, sometimes with masonry accent cladding. Architectural styles include Mid-Century Modern and various Ranch style iterations.



Custom-built houses in the Country Club Estates area of Redlands.

C. Post-War Custom-Built Single-Family Neighborhoods

Guidelines for the Treatment of Site Design Elements

Building Placement

- As Character Category C contains a range of front setbacks, variety in front setbacks is appropriate.

Side Setbacks

- Promote flexibility in the size of side setbacks. Side setbacks do not need to be equal in width.

Orientation

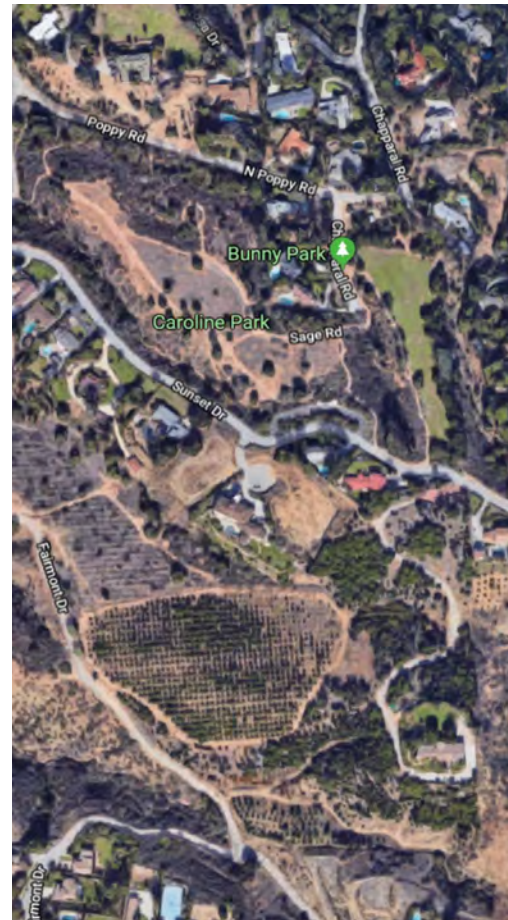
- Where the building is largely visible from the street, generally orient the building toward the street. However, the primary façade does not need to be parallel to the street.

Garage Placement

- The garage should generally be attached to the primary residence. It may be projecting from or flush with the primary façade. The garage's orientation toward the street may vary.

Vehicular Access

- Provide vehicular access to the primary residence via a driveway. The placement and configuration of the driveway may vary.



This Google aerial view illustrates the variety in setbacks and orientation in the city's custom-built postwar neighborhoods.

Modernist Architects Working in Redlands

Many of Redlands' custom-built postwar houses were designed by notable local and regional architects specializing in Mid-Century Modern styles, including Clinton Marr, Richard Neutra, C. Paul Ulmer, Leon Armantrout, and Clare Henry Day. The Redlands-based Day was particularly known for his residential designs, featuring horizontal massing, expanses of windows, and wide, flat roof eaves. His houses survive in nearly every custom-built postwar subdivision in the city, including at least four on Sunset Drive alone.



A custom-built house designed by architect Clare Henry Day on Sunset Drive.

C. Post-War Custom-Built Single-Family Neighborhoods

Guidelines for the Treatment of Building Design Elements



A paved walkway provides pedestrian access to the primary entrance from the driveway at this postwar house.

Pedestrian Access

- A paved walkway should provide access to the building's primary entrance, either directly from the sidewalk or from the driveway.

Front Yard Fence

- As most front yards in this Character Category do not retain fences, a front yard fence is discouraged. However, if a front yard fence is necessary or desired, the fence should be compatible with the architectural style of the building.
- The front yard fence should generally be constructed of wood, low in scale, and visually transparent.

Retaining Wall

- A retaining wall, if required, should be designed to match other existing retaining walls in this Character Category and should be finished in the same material as the house (typically stucco or stone).



The front yards of most custom-built postwar houses in the city are not fenced.

C. Post-War Custom-Built Single-Family Neighborhoods

Guidelines for the Treatment of Building Design Elements

Scale and Massing

- Design the building to be compatible with the scale and massing of the predominantly one-story, horizontally oriented residences in the Character Category.

Roof Form

- The building should be designed with a low- to medium-pitch, gable or hipped roof, compatible with the architectural style of the building and other buildings in the area.



A low-pitched roof, typical of postwar architecture.

Façade Composition

- Design the building so that its façades, particularly its primary façade and those most visible from the public right-of-way, retain similar proportions, fenestration pattern, and level of articulation as others in the Character Category.
- Applied ornamentation should be minimal in Character Category C.

Entrance Porch or Stoop

- Incorporate an entrance porch or stoop into the primary façade of the building.
- The porch or stoop should be modest in scale, with minimal articulation.



Postwar residential entrances are modest in scale, with minimal articulation.

Exterior Materials

- Apply a primary cladding material that is compatible with the wood siding and stucco typically present in the Character Category. If a substitute material is used, choose a material that is similar in finish, texture, and overall appearance as wood or stucco siding.

C. Post-War Custom-Built Single-Family Neighborhoods

Guidelines for the Treatment of Building Design Elements



An example of the types of windows and doors that are appropriate for Redlands' postwar neighborhoods.

Windows

- Design a new window to be compatible in scale, style, and material to the overall building or similar buildings in age and type.

Doors

- Design the building with one primary, street-facing entrance.
- Design a new door to be compatible in scale, style, and material to the overall building or similar buildings in age and type.

Attached Garage

- Install a garage door that is compatible with the configuration, proportions, and material of those found in the Character Category.



An example of an attached garage in one of Redlands' custom-built postwar neighborhoods.

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D. Post-War Multi-Family Residential Development

Introduction & Context

Character Category D comprises multi-family residential development primarily constructed during the 1950s and 1960s. This Character Category is concentrated west of Downtown Redlands and includes one- and two-story, small-scale multi-family properties, such as duplexes, courtyard apartments, and garden apartments. Some single-family residences are interspersed with the duplex properties, which are single-family in appearance. Character Category D features wide, curvilinear streets, concrete curbs and sidewalks, and uniform front and side setbacks. Whereas lots containing duplexes and courtyard apartments are relatively modest, lots with garden apartments are large to accommodate multiple buildings. Duplex buildings are oriented toward and parallel to the street. In the case of courtyard and garden apartments, some units and/or buildings in the complex face a landscaped courtyard. Both attached and detached, multi-car garages are present in this Character Category; those that are detached are located at the rear of the property. Driveways provide vehicular access to garages, and concrete walkways provide access to the primary entrance from the driveway or sidewalk. Front yards are landscaped, and front yard fences are largely nonexistent.



A multi-family residential development in west Redlands.



A two-story multi-family residential development in Redlands.

Buildings in this Character Category are typically one to two stories in height. Front façades are less articulated, with subdued entryways and minimal ornamentation. Buildings are primarily clad in wood and/or stucco, sometimes with masonry accent cladding. Minimal Traditional and Minimal Ranch are the predominant architectural styles.



An example of a postwar duplex in Redlands.

D. Post-War Multi-Family Residential Development

Guidelines for the Treatment of Site Design Elements

Building Placement

- Place the building within the established range of front setbacks on the block.

Side Setbacks

- Provide side setbacks in the range of those seen on the block. Setbacks may vary depending on the location of the garage and placement of the driveway.

Orientation

- A duplex building should be parallel to and oriented toward the street.
- A courtyard apartment or garden apartment may have units and/or buildings oriented toward a landscaped court. The building/complex may be perpendicular or parallel to the street.

Garage Placement

- Conform to the typical garage placement present on the adjacent properties.
- If neighboring garages are attached, the building's garage should be attached.
- If surrounding garages are detached, the building's garage should also be detached. A detached garage should be placed at the rear of the property whenever feasible. If siting the garage entirely behind the building is not feasible, set the garage back from the primary façade so that it remains subordinate to the building.



Setbacks may vary in Redlands' multi-family residential developments.



An attached garage on a postwar duplex.

D. Post-War Multi-Family Residential Development

Guidelines for the Treatment of Site Design Elements



Pedestrian access to this garden apartment complex is provided via a paved walkway.



Postwar multi-family complexes typically have open front yards.

Vehicular Access

- Provide vehicular access to the attached/detached garage via a driveway.
- Where an alley is present, a detached garage should be accessed via the alley, rather than a driveway. Avoid adding curb cuts and driveways when they are not present on the block in order to maintain the original streetscape and yard patterns in the area.

Pedestrian Access

- Provide a direct connection from the sidewalk to the building's primary entrance via a paved pathway through the front yard.
- Where apartment units face an interior court, each unit should be connected to an internal pathway system that ultimately leads to the sidewalk.

Front Yard Fence

- As most front yards in this Character Category do not retain fences, a front yard fence is discouraged. However, if a front yard fence is necessary or desired, the fence should be compatible with the architectural style of the building.
- The front yard fence should generally be constructed of wood, low in scale, and visually transparent.

Retaining Wall

- A retaining wall, if required, should be designed to match other existing retaining walls in this Character Category and should be finished in the same material as the house (typically stucco or stone).

D. Post-War Multi-Family Residential Development

Guidelines for the Treatment of Building Design Elements

Scale and Massing

- Design the building to be compatible with the scale and massing of the predominantly one- and two-story multi-family properties in the Character Category.

Roof Form

- The building should be designed with a low- to medium- pitch, flat, gable, or hipped roof, compatible with the architectural style of the building and other buildings in the area.

Façade Composition

- Design the building so that its façades, particularly its primary façade and those most visible from the public right-of-way, retain similar proportions, fenestration pattern, and level of articulation as others in the Character Category.
- Applied ornamentation should be minimal in Character Category D.

Entrance Porch or Stoop

- Incorporate an entrance porch or stoop into the primary façade of the building.
- The porch or stoop should be modest in scale, with minimal articulation.

Exterior Materials

- Apply a primary cladding material that is compatible with the wood siding and stucco typically present in the Character Category. If a substitute material is used, choose a material that is similar in finish, texture, and overall appearance as wood or stucco siding.



An example of a two-story building, common in Redlands' postwar multi-family developments.



Postwar apartments are typically low in scale and compatible with a single-family residential context.

D. Post-War Multi-Family Residential Development

Guidelines for the Treatment of Building Design Elements



An example of aluminum slider windows, typical of Redlands' postwar multi-family development.

Windows

- Design a new window to be compatible in scale, style, and material to the overall building or similar buildings in age and type.
- A typical window in this Character Category has a horizontal orientation and is grouped symmetrically across the multiple units of the building. A window may be wood double-hung, steel casement, or an aluminum slider depending on the age and style of the building.
- An awning may be appropriate if applied in a consistent manner.

Doors

- Design the building with two or more entrances.
- The building's entrance(s) may be located at the front or side of the building.
- Design a new door to be compatible in scale, style, and material to the overall building or similar buildings in age and type.
- A typical door in this Character Category is a single, solid wood door with no paneling or simple geometric paneling. Doors may be grouped in pairs or in symmetrical arrangements with the windows.
- An awning may be appropriate if applied in a consistent manner.

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E. Downtown Commercial Development

Introduction & Context

Character Category E encompasses Redlands' Downtown commercial development, dating from the turn of the 20th century to the 1960s. This Character Category is defined by small-scale commercial properties, including mixed-use buildings, retail/office buildings, restaurants, and banks. This Character Category is defined by its gridded street pattern, paved narrow streets, and wide sidewalks. Lots are narrow, and buildings sit flush with the sidewalk, creating a strong street wall presence and sidewalk edge. Onsite parking is minimal. Where it is provided, parking is located behind buildings or on side lots.



Downtown Redlands commercial corridor.



Commercial development in Downtown Redlands.

Buildings in Character Category E are primarily one to two stories in height. They are rectangular in form and are sheltered by flat roofs. Masonry and/or stucco cladding are the primary building materials. Large ground story display windows provide a visual connection to the interior, and buildings are accessed by street-facing entrances (most buildings contain multiple entrances). Canopies, awnings, wall-mounted signage, and articulated parapet walls and cornices are common characteristics of buildings in this Character Category. Architectural styles vary in the Downtown commercial area and include prewar classical interpretations as well as various iterations of postwar modernism.

Historic Districts within Character Category E

One of Redlands' existing designated Historic Districts falls under Character Category E:

- Redlands Santa Fe Depot District

The eastern portion of this National Register Historic District (east of Orange Street) is largely commercial in nature, while the western portion is primarily industrial. Refer to Chapter 7 for design guidelines specific to the industrial portion of this Historic District and to Chapter 8 for design guidelines on new construction in Historic Districts.

E. Downtown Commercial Development

Guidelines for the Treatment of Site Design Elements

Building Placement

- Place the building flush with the sidewalk to retain the commercial street wall presence and continuity of the sidewalk edge.

Side Setbacks

- Side setbacks should be minimized to maintain continuity of the sidewalk edge.

Orientation

- The building should be parallel to and oriented toward the street.

Pedestrian Access

- Pedestrian access should be provided at the building's primary entrance, located at the sidewalk.

Parking

- Parking should be located at the rear of the building, or to the side when rear parking is not feasible, in order to maintain the building's pedestrian orientation and relationship with the sidewalk.



The flush façades of these commercial buildings creates a uniform streetwall.



Storefronts are parallel to and oriented toward the street in the city's commercial areas.

E. Downtown Commercial Development

Guidelines for the Treatment of Building Design Elements



Most commercial buildings in Redlands have flat roofs.



An example of a one-story commercial building, typical of Redlands' downtown commercial development.

Scale and Massing

- Design the building to be compatible with the scale and massing of other one- and two-story commercial buildings in the area. Consider stepping back or using other articulation methods to modulate floors above two stories, in order to maintain the pedestrian scale of the Character Category.
- The building should be composed of simple, rectangular forms that are consistent with the form and massing of adjacent buildings in the area.

Roof Form

- The building should be designed with a flat roof to maintain the commercial character of the area.

Façade Composition

- Design the building so that its façades, particularly its primary façade, retain similar proportions, fenestration pattern, and level of articulation as others in the Character Category.
- Design the building to have a similar solid-to-void ratio as others in the area. Transparency should be highest at the first story, ground level, in order to provide a connection to the interior for pedestrians and passing traffic.
- The front façade should be divided into smaller parts through use of display windows, bulkheads, stringcourses, and/or other decorative detailing. Details should be simple in design and should complement, rather than visually compete with, the character of adjacent buildings. Long unarticulated wall planes should be avoided.

E. Downtown Commercial Development

Guidelines for the Treatment of Building Design Elements

Entrance(s)

- Design the building with one or more entrances.
- The building’s entrance(s) may be recessed or flush with the sidewalk.
- The entrance(s) should be articulated through use of decorative surrounds and/or other architectural detailing.

Exterior Materials

- Utilize a primary cladding material that is compatible with the typical masonry and stucco used on buildings in the Character Category. If a substitute material is used, choose a material that is similar in finish, texture, and overall appearance as masonry or stucco.



An example of a recessed storefront entrance, a common characteristic of the city’s downtown commercial buildings.



Brick and stucco are the primary materials used in Redlands’ downtown commercial buildings.

F. Auto-Oriented Commercial Development

Introduction & Context

Character Category F encompasses Redlands’ auto-oriented commercial development, including restaurants, walk-up/drive-thru food stands, auto repair shops, gas stations, motels, retail establishments, and various other property types. This Character Category encompasses low-scale commercial properties concentrated on major thoroughfares (particularly Redlands Boulevard/old Highway 99). While most properties date to the post-World War II period, some were constructed in the 1920s and 1930s as automobile use proliferated throughout the city. In contrast to the pedestrian-oriented buildings of the Downtown commercial core (Character Category E), the commercial properties of Character Category F were designed to attract and accommodate customers arriving via car.



An auto-oriented commercial development along Redlands Boulevard.



An auto-oriented commercial corridor.

Character Category F is identified by its wide, heavily trafficked streets. Lot sizes and front and side setbacks vary. Buildings are typically oriented toward the street or their associated parking lot. They are often accompanied by ample parking and prominent street-facing signage. Buildings are primarily one story in height and feature flat or low-pitched roofs, often with wide eaves; extensive glazing; and stucco cladding. Most properties in this Character Category are modest examples of the Mid-Century Modern style.



An automobile service center along Redlands Boulevard.

F. Auto-Oriented Commercial Development

Guidelines for the Treatment of Site Design Elements

Building Placement

- As Character Category F includes a range of front setbacks, variety in front setbacks is appropriate.

Side Setbacks

- Promote flexibility in the size of side setbacks. Side setbacks do not need to be equal in width.

Orientation

- Orient the building to face the street or associated parking lot. The building does not need to be parallel with the street.

Pedestrian Access

- The building's primary entrance should be designed to open directly onto the sidewalk or pathway leading to the parking lot.

Parking

- Parking should be prominently featured, fronting the building and/or wrapping around the sides and rear of the property.



Auto-oriented buildings typically face the street or associated parking lot.



Parking at this auto-oriented building is prominently featured at the front of the building.

F. Auto-Oriented Commercial Development

Guidelines for the Treatment of Building Design Elements



A simple, rectangular auto-oriented building.



A row of low-scale commercial buildings, typical of the city's auto-oriented commercial development.

Scale and Massing

- Design the building to be compatible with the scale and massing of other one-story, low-scale commercial buildings in the Character Category.
- The building should be composed of simple, rectangular forms that are consistent with the form and massing of adjacent commercial development.

Roof Form

- The building should be designed with a flat- or low-pitch roof to maintain the commercial character of the area.
- Wide eaves may be incorporated into the roof design so that the building blends in with the postwar modern aesthetic of surrounding properties.

Façade Composition

- Design the building so that its façades, particularly its primary façade, retain similar proportions, fenestration pattern, and level of articulation as others in the Character Category.
- Design the building to have a similar solid-to-void ratio as others in the area. The building should retain extensive transparent glazing at the primary façade in order to provide a connection to the interior for passing traffic.
- The front façade should be divided into smaller parts through use of glazing, canopies, and other article/horizontal elements. Long unarticulated wall planes should be avoided; however, applied ornamentation should be minimal.

F. Auto-Oriented Commercial Development

Guidelines for the Treatment of Building Design Elements

Entrance(s)

- Design the building with one or more entrances.
- The building's entrance(s) may be recessed or flush with the façade.
- The entrance's should generally be understated, typical of auto-oriented commercial buildings.

Exterior Materials

- Utilize a primary cladding material that is compatible with the typical stucco used on buildings in the area.

The primary entrance at this commercial building is understated, incorporated into the glazing system surrounding it.



Stucco is the primary cladding material used on the city's auto-oriented commercial buildings.

G. Early Industrial Development

Introduction & Context

Character Category G comprises Redlands' early industrial development, which is located in Downtown and oriented east-west along the former Santa Fe Railroad line. It includes small-scale industrial properties on the west side of Orange Street. This Character Category is identified by its largely rectilinear street grid pattern. Street widths vary, and concrete curbs and sidewalks are present throughout. Lots are large and irregularly shaped, and front and side setbacks vary.

Buildings in this Character Category are one to two stories in height. The scale, massing, roof forms, and façade composition of industrial properties differ; stucco and masonry are the predominant cladding materials. While a vernacular industrial aesthetic is most prevalent throughout, Character Category G also includes more refined, classically inspired buildings (i.e. the Santa Fe Depot building).



The Redlands Santa Fe Train Depot.

Historic Districts within Character Category G

One of Redlands' existing designated Historic Districts falls under Character Category G:

- Redlands Santa Fe Depot District

The western portion of this National Register Historic District (west of Orange Street) is largely industrial in nature, while the eastern portion is primarily commercial. Refer to Chapter 7 for design guidelines specific to the industrial portion of this Historic District and to Chapter 8 for design guidelines on new construction in industrial Historic Districts.



Early industrial development occurred along the Santa Fe Railroad line.

G. Early Industrial Development

Guidelines for the Treatment of Site Design Elements

Building Placement

- Variety in front setbacks is appropriate in Character Category G.

Side Setbacks

- As this area was historically characterized by large expanses of vacant land, side setbacks are flexible and open space, including parking and/or landscaped areas, is encouraged.

Orientation

- A building in Character Category G may be oriented toward the street or associated parking lot/landscaped space.

Pedestrian Access

- A building's entrance may be designed to open directly onto the sidewalk or a path leading to a parking lot in this area.

Parking

- Parking may be provided at the front, side, or rear of a building in this area.



Industrial buildings are often surrounded by expanses of open land.



An example of side parking at an industrial building.

G. Early Industrial Development

Guidelines for the Treatment of Building Design Elements



Brick pilasters provide some articulation to this industrial building.



Large, utilitarian openings are characteristic of industrial architecture.



Brick is a prominent material in Redlands' industrial architecture.

Scale and Massing

- Design the building to be compatible with the scale and massing of other one- and two-story industrial buildings in the area.
- The building should be composed of simple, rectangular forms that are consistent with the form and massing of other properties in Character Category G.

Roof Form

- The building's roofline should be compatible with the roof lines of adjacent historic properties.
- A building in this Character Category may be designed with a sawtooth roof or incorporate roof monitors, in order to blend in with its surrounding industrial properties.

Façade Composition

- Design the building so that its façades, particularly its primary façade, retain similar proportions, fenestration pattern, and level of articulation as others in the Character Category.
- The façade composition of buildings in this area vary significantly. Thus, a building may be designed with a range of compatible façade configurations. Long unarticulated wall planes should be avoided; however, applied decoration should be minimal.

Entrance(s)

- A building in Character Category G may be designed with one or more entrances. The building's entrance(s) may be recessed or flush with the primary façade.
- A building's entrance should generally be understated and utilitarian in appearance, in line with the typically modest entrances of industrial buildings in this area.

Exterior Materials

- Utilize a primary cladding material that is compatible with the typical stucco and masonry used on buildings in the area. If a substitute material is used, choose a material that is similar in finish, texture, and overall appearance as masonry or stucco.

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